



public works
& infrastructure

Department:
Public Works and Infrastructure
REPUBLIC OF SOUTH AFRICA

REPUBLIC OF SOUTH AFRICA
DEPARTMENT OF PUBLIC WORKS AND INFRASTRUCTURE

BILLS OF QUANTITIES

FOR HANOVER

MAGISTRATE'S

OFFICE

HERITAGE:

REPAIRS AND

RENOVATIONS

QUANTITY SURVEYOR:

**IVM QUANTITY SURVEYORS
JOHANNESBURG**

ARCHITECT:

**Asquith McGregor Design Studio cc
UPINGTON**

NOVEMBER 2022

REPUBLIC OF SOUTH AFRICA
DEPARTMENT OF PUBLIC WORKS AND INFRASTRUCTURE
BILLS OF QUANTITIES
FOR
HANOVER MAGISTRATE'S OFFICE HERITAGE:

REPAIRS AND RENOVATIONS

PART A

QUANTITY SURVEYORS:

IVM QUANTITY SURVEYORS
3 MUSWELL ROAD
BRYANSTON
2191
P.O. Box 131
FOURWAYS NORTH
2086
Contact person: Dr L Matshidze
Tel: (072) 793-1953
Cell: 072 793 1953
Fax: (086) 664-7311

ARCHITECTS

Asquith McGregor Design Studio cc
80 WILDEBEES STREET
UPINGTON
8801
P.O. Box 1113
UPINGTON
8800
Contact person: Mr A McGregor
Tel: (054) 338 0702
Cell: 082 772 6368
Fax: (054) 338-0703

ELECTRICAL ENGINEERS

MMT Consulting Engineers
Northgate Office Park
JOHANNESBURG
2188
P.O. Box 68383
BRYANSTON
2021
Contact person: Mr. Febion Machiwenyika
Tel: (011) 317 3601
Cell: 079 833 5727
Fax: (011) 317-3601

DEPARTMENT OF PUBLIC WORKS AND INFRASTRUCTURE
REGIONAL OFFICE: KIMBERLY
Old Magistrate Building
21-23 Market Square
KIMBERLY
8301

Project Manager: Mr. M Modisakeng
Tel: (053) 838 5240
Cell: 066 217 5621
Fax: (000) 000-000

YOU ARE HEREBY INVITED TO BID TO THE GOVERNMENT OF THE REPUBLIC OF SOUTH AFRICA

PLEASE TAKE NOTE

TENDER NUMBER *KIM08/2022*

CLOSING TIME: *11H00*

CLOSING DATE: *02/12/2022*

BIDS RECEIVED AFTER THE CLOSING TIME AND DATE ARE LATE AND WILL, AS A RULE NOT BE ACCEPTED FOR CONSIDERATION

The **Tax Clearance Certificate for Bid Purposes** from the Receiver of Revenue and the **Bid Form** must be completed and signed in the original that is in ink. Forms with photocopied signatures or other such reproduction of signatures will be rejected.

BID DOCUMENTS MAY BE POSTED TO

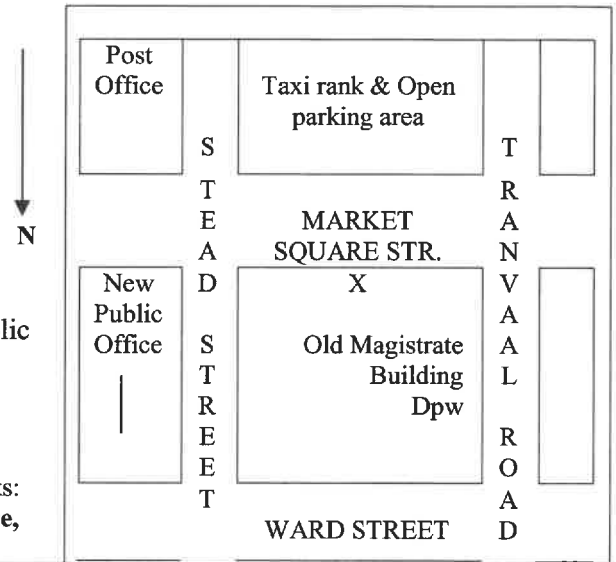
REGIONAL MANAGER
Department of Public Works
Private Bag X5002
KIMBERLEY
8301

ATTENTION: BID SECTION: ROOM N22

Bid documents that are posted must reach the Department of Public Works before 11:00 on the closing date of the bid.

OR

The bid documents may be deposited at the Department of Public Works:
Head Office: **Room 29, Old Magistrate Offices, 21-23 Market Square, Kimberley, 8301.**



The Office of the Department of Public Works is open **Mondays to Fridays** **07:30 – 12:45 / 13:30 – 15:30.** However, if the bid is late, it will, as a rule not be accepted for consideration.

Bidders should ensure that bids are delivered timeously to the correct address.

SUBMIT ALL BIDS ON THE OFFICIAL FORMS - DO NOT RETYPE.

Bids by telegram, facsimile or other similar apparatus will not be accepted for consideration.

SUBMIT EACH BID IN A SEPARATE SEALED ENVELOPE.

The Government Tender Bulletin is available on the Internet on the following web sites:

1. <http://www.treasury.gov.za>
2. <http://www.gov.za/bids/>



SERVICE PROVIDER DOCUMENT COMPLETION GUIDE: WHAT TO AVOID AND/OR REMEMBER WHEN COMPLETING THESE TENDER DOCUMENTS.

1. **PA - 32 INVITATION TO BID** – the **total bid price** calculated on the bill of quantities and/or PA 30.1 **MUST** be transferred to the PA-32 form and completed at the bottom right corner.
2. **DPW – 07 FORM OF OFFER AND ACCEPTANCE** – the **total bid price** calculated on the bill of quantities should be carried over from the bill of quantities (BOQ) to DPW-07 in both numerical and in words format. It should be noted that should there be a price difference between numeric value offer and the offer in words, the offer in words shall prevail.
3. **PA – 36 DECLARATION CERTIFICATE FOR LOCAL PRODUCTION AND CONTENT FOR DESIGNATED SECTOR** – ensure that you read the guidelines included in the bid documents for clarification of the document to be completed, critical areas to complete

3.1. Par 3

Does any portion of the goods or services offered have any imported content?

(Tick applicable box)

YES	<input type="checkbox"/>	NO	<input type="checkbox"/>
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If yes is indicated above, please complete the appropriate currency and rate of exchange for the specific currency

3.2. Local Content Declaration:



Bid price, excluding VAT (y)	R
Imported content (x), as calculated in terms of SATS 1286:2011	R
Stipulated minimum threshold for local content (paragraph 3 above)	
Local content %, as calculated in terms of SATS 1286:2011	

On the above table extracted from PA-36 input the summary as calculated in Annexure C of the bid document

Bid Price, excluding VAT (y) – transfer price from C20 Total Tender Value

Imported content (x), as calculated in terms of SATS 1286:2011 – transfer from C23 Total Imported Content (If applicable)



-  Stipulated minimum threshold – refer to Annexure C if more than 1 designated item
-  Local content % - refer to Annexure C if more than 1 designated item

NB: Bidders should complete PA 36 and Annexure C fully and accurately, where bidder indicates exemption by inputting values on column C11, C18 and C21 please ensure that a letter of exemption approval is attached on the bid document as approved by the DTIC. If there is no approval then these columns should be left blank.

Please note: both the PA 36 and Annexure C are to be signed by bidder and submitted before closure of RFQ or RFT

4. **PA - 11 BIDDERS DISCLOSURE** – declare any related company interest (where you have controlling interest) including those reflecting on the **CSD report** under each director/member of your company (*if, tick YES on point 2.3. Furnish the details on 2.3.1*).
5. **PA - 16 PREFERENCE POINTS CLAIM FORM** – should be completed in full, BBBEE status level of contribution claimed indicated in sec 6, 1.1 according to the entities BBBEE Level (i.e. for 80/20, Level 1 = **20** points, indicate 20 as maximum claimed).
6. **ORIGINAL BBBEE SWORN AFFIDAVIT** - Ensure that the sworn affidavit is signed and dated in the presence of the Commissioner of Oaths. The date of the deponent and the commissioner must be the same date. **CIPC sworn affidavit** are preferred but not compulsory
 - Bidders to note that the acceptable format for financial year end is as follows: **DD/MM/YYYY**. If the day, month and year of financial year end are not indicated, the sworn affidavit will be declared invalid and lead to non-allocation of preference point.
7. **BBBEE CERTIFICATE** - must be issued by a SANAS accredited agency and all other required certificates must be issued by the relevant accredited agency. Please verify that the your certificate issuing providers are registered on SANAS to ensure your certificates are accredited www.sanas.co.za under accredited organizations
8. **PROCUREMENT COMPLIANCE FORMS** – all procurement compliance form **MUST** be fully completed and signed in ink.
9. **ERRORS ON THE BOQ** – Ensure correct and accurate carry-over of totals throughout the BOQ

Please ensure that you completely fill in the document, where not sure kindly contact this office for assistance, should you fail to submit a fully compliant document you may



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be rendered ***administratively non-responsive*** thus disqualified from further evaluation.

DPWI SCAM ALERT!

The Department of Public Works and Infrastructure (DPWI) would like to once again warn members of the public and service providers about a scam doing rounds using personal details of DPWI staff members to scam the public.

Members of the public and those who are doing business with DPWI are cautioned to be extra vigilant around this time of the lockdown, whereby unscrupulous people use any available opportunity to scam them.

If anyone receives such an invitation purporting to be from any staff member, please verify with DPWI by calling the following officials;

Ms Wendy Khumalo

Telephone number: 053 8385359

Email: Wendy.Khumalo@dpw.gov.za

Ms Gail Aysen

Telephone number – 053 8385221

Email – Gail.Aysen@dpw.gov.za

VOLUME 1: TENDERING PROCEDURES

T1.1 TENDER NOTICE AND INVITATION TO TENDER

PA-04 (EC): NOTICE AND INVITATION TO TENDER

THE DEPARTMENT OF PUBLIC WORKS AND INFRASTRUCTURE INVITES TENDERS FOR:

Project title:	HANOVER MAGISTRATE'S OFFICE HERITAGE - REPAIRS AND RENOVATIONS
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Tender no:	KIM08/2022	Reference no:	19/2/4/2/2/2374/10
Advertising date:	2022/11/11	Closing date:	2022/12/02
Closing time:	11H00	Validity period:	84 calendar days (12 Weeks)

1. REQUIRED CIDB GRADING

It is estimated that tenderers should have a CIDB contractor grading designation of **4 GB** or **4 GB*** or higher.
** Delete "or select tender value range select class of construction works" where only one class of construction works is applicable*

It is estimated that potentially emerging enterprises should have a CIDB contractor grading designation of **Not applicable Not applicable PE** or **Not applicable Not applicable PE*** or higher.

** Delete "or select tender value range select class of construction works PE" where only one class of construction works is applicable*

2. RESPONSIVENESS CRITERIA

2.1 Substantive responsiveness criteria

Only tenderers who are responsive to the following substantive responsiveness criteria are eligible to submit tenders. Failure to comply with the criteria stated hereunder shall result in the tender offer being disqualified from further consideration:

1	<input checked="" type="checkbox"/>	Only those tenderers who satisfy the eligibility criteria stated in the Tender Data may submit tenders.
2	<input checked="" type="checkbox"/>	Tender offer must be properly received on the tender closing date and time specified on the invitation, fully completed either electronically (if issued in electronic format), or by writing legibly in non-erasable ink. (All as per Standard Conditions of Tender).
3	<input checked="" type="checkbox"/>	Use of correction fluid is prohibited.
4	<input checked="" type="checkbox"/>	Submission of (DPW-07 EC): Form of Offer and Acceptance.
5	<input checked="" type="checkbox"/>	Submission of (PA-16): Preference points claim form in terms of the Preferential Procurement Regulations 2017.
6	<input checked="" type="checkbox"/>	Submission of (PA – 36 and Annexure/s C): Declaration Certificate for Local Production and Content for designated sectors.
7	<input checked="" type="checkbox"/>	Submission of DPW-09 (EC): Particulars of Tenderer's Projects.
8	<input checked="" type="checkbox"/>	Submission of DPW-16 (EC): Site Inspection Meeting Certificate
9	<input type="checkbox"/>	Submission of record of attending compulsory virtual bid clarification / site inspection meeting.
10	<input checked="" type="checkbox"/>	Submission of DPW-21 (EC): Record of Addenda to tender documents
11	<input checked="" type="checkbox"/>	The tenderer shall submit his fully priced Bills of Quantities / Lump Sum Document (complete document inclusive of all parts) together with his tender.

Tender no: KIM08/2022

12	<input checked="" type="checkbox"/>	The tenderer shall submit his fully priced and completed sectional summary- and final summary pages with the tender.
13	<input type="checkbox"/>	Submission of Proof of 30% Subcontracting participation and related documents in terms of the Preferential Procurement Regulations 2017
14	<input type="checkbox"/>	
15	<input type="checkbox"/>	
16	<input type="checkbox"/>	
17	<input type="checkbox"/>	
18	<input type="checkbox"/>	

2.2 Administrative responsiveness criteria

The Employer reserves the right to request further information regarding the undermentioned criteria. Failing to submit further clarification and/or documentation within seven (7) calendar days from request or as specifically indicated, will disqualify the tender offer from further consideration.

1	<input checked="" type="checkbox"/>	Any correction to be initialled by the person authorised to sign the tender documentation as per PA 15.1 or PA 15.2 resolution of board/s of directors / or PA15.3 Special Resolution of Consortia or JV's .
2	<input checked="" type="checkbox"/>	Submission of applicable (PA-15.1, PA-15.2, PA-15.3): Resolution by the legal entity, or consortium / joint venture, authorising a dedicated person(s) to sign documents on behalf of the firm / consortium / joint venture.
3	<input checked="" type="checkbox"/>	Submission of (PA-11): Bidder's disclosure.
4	<input checked="" type="checkbox"/>	Submission of (PA 40): Declaration of Designated Groups for Preferential Procurement.
5	<input checked="" type="checkbox"/>	Submission of proof of Registration on National Treasury's Central Supplier Database (CSD).
6	<input checked="" type="checkbox"/>	Submission of DPW-15 (EC): Schedule of proposed sub-contractors
7	<input type="checkbox"/>	The tenderer shall submit his fully priced Bills of Quantities (complete document inclusive of all parts) within 14 days from request.
8	<input checked="" type="checkbox"/>	Upon request, submission of fingerprints obtainable from local SAPS including any other additional documentation and information required for vetting purposes.
9	<input checked="" type="checkbox"/>	Upon request, submission of a fully completed security clearance application form with supporting documentation and information as required. The security clearance form will be provided by the Employer for projects requiring a security clearance.
10	<input type="checkbox"/>	
11	<input type="checkbox"/>	
12	<input type="checkbox"/>	
13	<input type="checkbox"/>	
14	<input type="checkbox"/>	
15	<input type="checkbox"/>	

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3. PRE-QUALIFICATION CRITERIA

Preferential procurement: *Applicable*

Tenderer must comply with the Pre-qualification criteria for Preferential Procurement listed below

<input checked="" type="checkbox"/>	<p>A tenderer having stipulated minimum B-BBEE status level of contributor:</p> <p><input checked="" type="checkbox"/> Level 1 or <input type="checkbox"/> Level 2 or <input type="checkbox"/> Level 3</p>
<input type="checkbox"/>	An EME or QSE
<input type="checkbox"/>	<p>A tenderer subcontracting a minimum of 30% to:</p> <p><input type="checkbox"/> An EME or QSE which is at least 51% owned by black people <input type="checkbox"/> An EME or QSE which is at least 51% owned by black people who are youth <input type="checkbox"/> An EME or QSE which is at least 51% owned by black people who are women <input type="checkbox"/> An EME or QSE which is at least 51% owned by black people with disabilities <input type="checkbox"/> An EME or QSE which is at least 51% owned by black people living in rural or underdeveloped areas or townships <input type="checkbox"/> A co-operative which is at least 51% owned by black people <input type="checkbox"/> An EME or QSE which is at least 51% owned by black people who are Military veterans <input type="checkbox"/> An EME or QSE;</p>

Functionality: *Applicable*

Note: All bids involving the acquisition of engineering and construction works from cidb Grade 4 and above are subjected to functionality.

Note: Functionality will be applied as a prequalification criterion. Such criteria are used to establish minimum requirements where after bids will be evaluated solely on the basis of price and preference.

Minimum functionality score to qualify for further evaluation:	50
Functionality criteria:	Weighting factor:
<p>Experience and capability Previous projects</p> <p>Provide APPOINTMENT LETTERS AND PRACTICAL COMPLETION OR FINAL COMPLETION CERTIFICATES of similar construction projects in size and scope, from R2 500 000.00 or above in Rand value per project, completed in the last 10 years</p> <p>Scoring 5 - projects =5 points 4 projects = 4 points 3 projects = 3 points 2 - projects = 2 points 1 - projects = 1 points 0 - projects = 0 points</p>	30

<p>Management</p> <p>Project full time key personnel in the service of bidder for the Duration of the project</p> <p>Provide certified copies of Qualifications within the Built Environment and a CV reflecting the relevant experience in Repair and Renovation Projects.</p> <p>Scoring 1 x with 5 years experience = 5 points 1 x with 4 years experience = 4 points 1 x with 3 years experience = 3 points 1 x with 2 years experience = 2 points 1 x with 1 years experience = 1 point</p>	<p>25</p>
<p>Workforce</p> <p>Provide certified copies of trade certificate of artisans to be employed on this project. Points will be awarded to the below mentioned workforce Bricklayers,carpenters,plumbers,electricians and painters 5 Painters, 4 plumbers, 4 carpenters, 4 electricians, 4 bricklayers = 5 points 4 Painters, 3 plumbers, 3 carpenters, 3 electricians, 3 bricklayers = 4 points 6 Painters, 3 plumbers, 3 carpenters, 3 electricians, 2 bricklayers = 3 points 5 Painters, 2 plumbers, 2 carpenters, 2 electricians, 1 bricklayers = 2 points 1 Painter, 1 plumber, 1 carpenters, 1 electrician, 1 bricklayers or less = 0 points</p>	<p>30</p>
<p>Financial credibility</p> <p>Provide Bank Rating from Banking Institute to justify credit risk.</p> <p>Credit Rating of A = 5 Credit Rating of B = 4 Credit Rating of C = 3 Credit Rating of D = 2 Credit Rating of E or lower = 0</p>	<p>15</p>
<p>Total</p>	<p>100 Points</p>

Tender no: KIM08/2022

4. BID EVALUATION METHOD

This bid will be evaluated according to the preferential procurement model in the PPPFA: (Tick applicable preference point scoring system)

<input checked="" type="checkbox"/> 80/20 Preference points scoring system	<input type="checkbox"/> 90/10 Preference points scoring system	<input type="checkbox"/> Either 80/20 or 90/10 Preference points scoring system
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In case where below/above R 50 000 000 is selected, the lowest acceptable tender will be used to determine the applicable preference point system.

5. ELIGIBILITY IN RESPECT OF RISK TO THE EMPLOYER:

Any reference to words "Bid" or "Bidder" herein and/or in any other documentation shall be construed to have the same meaning as the words "Tender" or "Tenderer".

Standard risk management assessment criteria in respect of tenders received for routine projects in the engineering and construction works environments:

Tender offers will be evaluated by an Evaluation Committee based on the technical and commercial risk criteria listed hereunder. Each criterion carries the same weight / importance and will be evaluated individually based on reports presented to the Bid Evaluation Committee by the Professional Team appointed on the project. A tender offer will be declared non-responsive and removed from any further evaluation if any one criterion is found to present an unacceptable risk to the Employer.

In order for the evaluation reports to be prepared by the Professional Team, the Tenderer is obliged to provide comprehensive information on form DPW-09 (EC). Failure to complete the said form will cause the tender to be declared non-responsive and removed from any further consideration. The Employer reserves the right to request additional information over and above that which is provided by the Tenderer on said form. The information must be provided by the Tenderer within the stipulated time as determined by the Bid Evaluation Committee, failing which the tender offer will *mutatis mutandis* be declared non-responsive.

5.1 Technical risks:

Criterion 1: Experience on comparable projects during the past 10 years.

The tendering Service Provider's experience on comparable projects during the past 10 years. The number of current and previous comparable projects performed by the Tenderer as per the evaluation report prepared by the Consultant Team, based on its research and inspection of a representative sample of the Tenderer's current and previous work as reflected on form DPW-09 (EC), as well as, if necessary, of any additional work executed by the Tenderer, not reflected on form DPW-09 (EC). Failing to provide contactable references will result in the tender offer will be *mutatis mutandis* declared non-responsive.

Aspects to be regarded as "comparable" includes (but may be extended according to circumstances): size of projects (measured against monetary value or other project quantifying parameters), nature of projects (building, engineering, high/low rise, etc.), locality/area of execution (site-specific influences, knowledge of local conditions, etc.), complexity of project, projects for similar client department irrespective of end purpose of buildings/facilities created or in progress of being created and time scales of projects (normal, fast track, etc.) and stage of its/their development.

Criterion 2: Contractual commitment and quality of performance on comparable projects during the past 10 years.

Adherence to contractual commitments and quality of performance of comparable current and previous projects performed by the Tenderer during the past 10 years as per

Tender no: KIM08/2022

the evaluation report prepared by the Consultant Team, based on its research and inspection of a representative sample of the Tenderer's current and previous work as reflected on form DPW-09 (EC), as well as, if necessary, of any additional work executed by the Tenderer, not reflected on form DPW-09 (EC). Failing to provide contactable references will result in the tender offer be *mutatis mutandis* declared non-responsive.

Aspects to be considered include, but are not limited to the following:

1. The level of progress on current projects in relation to the project programme or, if such is not available/applicable, to the contractual construction period in general;
2. The degree to which previous projects have been completed within the contractual completion periods and/or extensions thereto, and the extend of penalties imposed;
3. Project performance: time management & programming of works, timeous ordering of materials and appointment of subcontractors;
4. Financial management: payment to suppliers and cash flow problems;
5. Quality of workmanship: extent of reworks and timeous attention to remedial works;

6. Personnel resources: suitably qualified and experienced, turnover in site staff and labour force, specifically site manager and foreman;
7. Personnel management: extent of labour disputes and ability to resolving labour disputes amicably;
8. Sub-contractors: extent of turnover in subcontractors, general liaison and payment problems experienced;
9. Contract administration: contractual aspects such as complying to laws and regulations, insurances, security, submission of required documentation timeously, reaction to written contract instructions, appointments of subcontractors, etc. as can generally be expected in standard/normal conditions of contract.
10. Health & Safety: adherence to regulations and compliance, and number of transgressions & serious incidents.
11. Plant & equipment: sufficient resources on site and in time.
12. Delays: extent of causing delays, submission of claims timeously, and abuse of or exaggerated delay claims.
13. Final account: extent to which the contractor assisted in finalising the final account.

Criterion 3: Suitably qualified and appropriately experienced human resources

Allocation of suitably qualified and appropriately experienced human resources, both in respect of principals and/or other staff (contract manager, site agent, site foreman including other professional, technical and/or administrative) of the tendering Service Provider to the project, as proof that the tendering Service Provider will be able to react/respond appropriately to the Services required herein. The Company Organogram with CV's and certified ID's of all principals and employed workforce as well as proof of Professional Registration will be verified. Current and future workload of the tenderer in relation to capacity and capability will also be considered. The tenderer should demonstrate that he or she possesses the necessary professional and technical qualifications and -competence in relation to the scope of work and work to be undertaken.

Criterion 4: Attendance of compulsory bid clarification meeting, if applicable

If applicable, submission of confirmation of DPW-16.1 (PSB) attendance of compulsory bid clarification meeting or proof of attending the compulsory virtual meeting by a suitably qualified and experienced representative of the tenderer in terms of PA-04 (EC): Notice and Invitation to Tender.

5.2 Commercial risks:

The financial viability assessment evaluates the risk over the life of the construction period, as to whether the tenderer will be able to deliver the goods and services which are specified in the contract and / or be able to fulfil guarantees or warranties provided for in the contract in order to complete the project successfully for the amount tendered.

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Aspects to be considered include but are not limited to, the respective rates tendered, bank rating, financial capability and capacity whether the tenderer has or has access to sufficient financial resources to deliver the goods or services described in the tender documentation (including fulfilling any guarantees or warranty claims), whether the tenderer is not subject to any current or impending legal action (either formal proceedings or notification of legal action) which could impact on the financial standing of the tenderer or the delivery of the goods or services, financial report from auditors as proof of current liquidity, and company or any parent company or investor guarantee/s and financial statements.

6. CONTRACT PARTICIPATION GOAL TARGETS AND CIDB B.U.I.L.D. PROGRAMME

The contractor shall achieve in the performance of the contract the following Contract Participation Goals (CPGs) as described in PG-01.2 (EC): Scope of Work and PG-02.2 (EC): Pricing Assumptions and in accordance with the feasibility study, which forms part of the specifications in the CPG Section of the Specification of this contract.

(a)	Minimum 30% Mandatory Subcontracting to SMMEs in accordance with the Preferential Procurement Policy Framework Act, 2000: Preferential Procurement Regulations, 2017 as published in the Government Gazette Notice No. 40553 of 20 January 2017 – Condition of Tender.	Not applicable
(b)	Minimum Targeted Local Manufacturers of Material Contract Participation Goal, in accordance with the cidb Standard for Contract Participation Goals for Targeting Enterprises and Labour through Construction Works Contracts as published in the Government Gazette Notice No. 41237 of 10 November 2017, as amended in cidb Best Practice Project Assessment Scheme Notice No. 43726 of 18 September 2020 – Condition of Contract.	Not applicable
(c)	Minimum Targeted Local Building Material Suppliers Contract Participation Goal in accordance with the cidb Standard for Contract Participation Goals for Targeting Enterprises and Labour through Construction Works Contracts as published in the Government Gazette Notice No. 41237 of 10 November 2017, as amended in cidb Best Practice Project Assessment Scheme Notice No. 43726 of 18 September 2020 – Condition of Contract.	Not applicable
(d)	Minimum Targeted Local Labour Skills Development Contract Participation Goal in accordance with the cidb Standard for Contract Participation Goals for Targeting Enterprises and Labour through Construction Works Contracts as published in the Government Gazette Notice No. 41237 of 10 November 2017, as amended in cidb Best Practice Project Assessment Scheme Notice No. 43726 of 18 September 2020 – Condition of Contract.	Not applicable
(e)	cidb BUILD Programme: Minimum Targeted Enterprise Development Contract Participation Goal in accordance with the cidb Standard for Indirect Targeting for Enterprise Development through Construction Works Contracts, No 36190 Government Gazette, 25 February 2013, as amended in cidb Best Practice Project Assessment Scheme Notice No. 43726 of 18 September 2020 – Condition of Contract.	Not applicable
(f)	cidb BUILD Programme: Minimum Targeted Contract Skills Development Goal in accordance with the cidb Standard for Developing Skills through Infrastructure Contracts as published in the Government Gazette Notice No. 43495 of 3 July 2020, as amended in cidb Best Practice Project Assessment Scheme Notice No. 43726 of 18 September 2020 – Condition of Contract.	Not applicable
(g)	DPWI National Youth Service training and development programme (NYS) – Condition of Contract.	Applicable
(h)	Labour Intensive Works – Condition of Contract.	Applicable
(i)		Select

Tender no: KIM08/2022

(j)		Select
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7. COLLECTION OF TENDER DOCUMENTS

- Bid documents are available for free download on e-Tender portal www.etenders.gov.za
- Alternatively; Bid documents may be collected during working hours at the following address 23-23 Market Squar, Kimberley, 8301 . A non-refundable bid deposit of R 100 is payable (cash only) on collection of the bid documents.

8. SITE INSPECTION MEETING

Any reference to words "Bid" or Bidder" herein and/or in any other documentation shall be construed to have the same meaning as the words "Tender" or "Tenderer".

A pre-tender site inspection meeting will **be** held in respect of this tender.
 Attendance of said pre- tender site inspection meeting is **compulsory**

The particulars for said pre- tender site inspection meeting or virtual bid clarification / site inspection meeting. are:

Venue:	Magisterial Court Hanover NC, 1 Church St, Hanover, 7005		
Virtual meeting link:	N/A		
Date:	2022/11/18	Starting time:	10h00

9. ENQUIRIES

Enquiries related to tender documents may be addressed to:

DPWI Project Manager:	Mackwin Modisakeng	Telephone no:	053 838 5240
Cellular phone no:	066 217 5621	Fax no:	n/a
E-mail:	mackwin.modisakeng@dpw.gov.za		

10. DEPOSIT / RETURN OF TENDER DOCUMENTS

Telegraphic, telephonic, telex, facsimile, electronic and / or late tenders will not be accepted.


Requirements for sealing, addressing, delivery, opening and assessment of tenders are stated in the Tender Data.

All tenders must be completed in non-erasable ink and submitted on the official forms – (forms not to be re-typed).

Tender no: KIM08/2022

<p>Tender documents may be posted to:</p> <p>The Director-General Department of Public Works and Infrastructure Private Bag X 5002 Kimberley 8301</p> <p>Attention: Procurement section: Room Old Wing by Securty tender Box</p>	<p>OR</p>	<p>Deposited in the tender box at:</p> <p>21-23 Market Square, Kimberley 8301 Old Magistrates Building Phakamile Mabija Old Wing by Securty tender Box</p>
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11. COMPILED BY:

<p>M.Modisakeng</p>		<p>2022/11/10</p>
<p>Name of Project Manager</p>	<p>Signature</p>	<p>Date</p>

T1.2 TENDER DATA

DPW-03 (EC): TENDER DATA

Project title:	HANOVER MAGISTRATE'S OFFICE HERITAGE - REPAIRS AND RENOVATIONS
Reference no:	19/2/4/2/2/2374/10

Tender / Quotation no:	KIM08/2022	Closing date:	02/12/2022
Closing time:	11H00	Validity period:	12 Weeks (84 Calender days)

Clause number:	
	<p>The conditions of tender are the Standard Conditions of Tender as contained in Annex C of the CIDB Standard for Uniformity in Construction Procurement as per Government Notice No. 423 published in Government Gazette No. 42622 of 8 August 2019 and as amended from time to time. (see www.cidb.org.za).</p> <p>The Standard Conditions of Tender make several references to the Tender Data for details that apply specifically to this tender. The Tender Data shall have precedence in the interpretation of any ambiguity or inconsistency between it and the Standard Conditions of Tender.</p> <p>Each item of data given below is cross-referenced to the clause marked "C" in the above mentioned Standard Conditions of Tender.</p>
C.1.1	The employer is the Government of the Republic of South Africa in its Department of Public Works and Infrastructure.
C.1.2	<p>For this contract the three volume approach is adopted.</p> <p>This procurement document has been formatted and compiled under the headings as contained in the CIDB's "Standard for Uniformity in Construction Procurement."</p> <p>The three volume procurement document issued by the employer comprises the following:</p> <p>Volume 1: Tendering procedures T1.1 - Notice and invitation to tender (PA-04 EC) T1.2 - Tender data (DPW-03 EC)</p> <p>Volume 2: Returnable documents T2.1 - List of returnable documents (PA-09 EC) C1.1 - Form of offer and acceptance (DPW-07 EC) C1.2 – Contract Data T2.2 - Returnable schedules</p> <p>Volume 3: Contract Part C1: Agreement and contract data C1.2 - Contract data (Part 1: Data provided by employer) (DPW-04 EC or DPW-05 EC) C1.3 - Form of guarantee (DPW-10.1 EC / DPW-10.3EC or DPW-10.2 EC/DPW-10.4 EC)</p> <p>Part C2: Pricing data C2.1 - Pricing Assumptions (PG-02.2 EC or PG-02.1EC) C2.2 - Bills of Quantities / Lump sum document (if not a returnable document)</p> <p>Part C3: Scope of work C3 - Scope of work (PG-01.2 EC or PG-01.1EC)</p> <p>Part C4: Site information C4 - Site information (PG-03.2 EC or PG03.1EC)</p>

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<p>C.1.4</p>	<p>The Employer's agent is:</p> <table border="1"> <tr> <td data-bbox="309 360 536 434">Name:</td> <td data-bbox="536 360 1426 434">M MODISAKENG</td> </tr> <tr> <td data-bbox="309 434 536 508">Capacity:</td> <td data-bbox="536 434 1426 508">Departmental Project Manager</td> </tr> <tr> <td data-bbox="309 508 536 582">Address:</td> <td data-bbox="536 508 1426 582">Id Magistrate Court, 21 – 23 Market Square, Kimberley, 8300</td> </tr> <tr> <td data-bbox="309 582 536 656">Tel:</td> <td data-bbox="536 582 1426 656">053 838 5240</td> </tr> <tr> <td data-bbox="309 656 536 730">Fax:</td> <td data-bbox="536 656 1426 730">N/A</td> </tr> <tr> <td data-bbox="309 730 536 801">E-mail:</td> <td data-bbox="536 730 1426 801">mackwin.modisakeng@dpw.gov.za</td> </tr> </table>	Name:	M MODISAKENG	Capacity:	Departmental Project Manager	Address:	Id Magistrate Court, 21 – 23 Market Square, Kimberley, 8300	Tel:	053 838 5240	Fax:	N/A	E-mail:	mackwin.modisakeng@dpw.gov.za
Name:	M MODISAKENG												
Capacity:	Departmental Project Manager												
Address:	Id Magistrate Court, 21 – 23 Market Square, Kimberley, 8300												
Tel:	053 838 5240												
Fax:	N/A												
E-mail:	mackwin.modisakeng@dpw.gov.za												
<p>C.2.1 C.3.11</p>	<p>A. <u>ELIGIBILITY IN RESPECT OF CIDB REGISTRATION:</u></p> <p>The following tenderers who are registered with the CIDB, or are *capable of being so registered prior to the evaluation of submissions, are eligible to have their tenders evaluated (* tenderers who are capable of being so registered, or who have applied for registration but have not yet received confirmation of such registration, must provide, <u>with this tender</u>, acceptable documentary proof thereof):</p> <p>a) contractors who have a contractor grading designation equal to or higher than a contractor grading designation determined in accordance with the sum tendered, or a value determined in accordance with Regulation 25 (1B) or 25 (7A) of the Construction Industry Development Regulations, for a 4 GB or 4 GB** class of construction work; and</p> <p>b) contractors registered as potentially emerging enterprises with the CIDB who are registered in one contractor grading designation lower than that required in terms of a) above: Not applicable</p> <p>Joint ventures are eligible to submit tenders provided that:</p> <ol style="list-style-type: none"> every member of the joint venture is registered with the CIDB; the lead partner has a contractor grading designation in the 4 GB or 4 GB** class of construction work; and the combined contractor grading designation calculated in accordance with the Construction Industry Development Regulations is equal to or higher than a contractor grading designation determined in accordance with the sum tendered, or a value determined in accordance with Regulation 25 (1B) or 25 (7A) of the Construction Industry Development Regulations for a 4 GB or 4 GB** class of construction work <p>** Delete "or select tender value range select class of construction works" where only one class of construction works is applicable</p> <p>A contract will be entered into with a tenderer who has in his employ management and supervisory staff satisfying the requirements of the scope of work for labour intensive competencies for supervisory and management staff: Applicable</p>												

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B. ELIGIBILITY IN TERMS OF PRE-QUALIFICATION CRITERIA FOR PREFERENTIAL PROCURMENT:	
<input checked="" type="checkbox"/>	A tenderer having stipulated minimum B-BBEE status level of contributor: <input checked="" type="checkbox"/> Level 1 or <input type="checkbox"/> Level 2 or <input type="checkbox"/> Level 3
<input type="checkbox"/>	<input type="checkbox"/> An EME or <input type="checkbox"/> A QSE or <input type="checkbox"/> An EME or QSE
C. INDICATE THE FUNCTIONALITY WEIGHTING APPLICABLE TO THIS BID:	
<p>Note: All bids involving the acquisition of engineering and construction works from cidb Grade 4 and above are subjected to functionality.</p> <p>Note: Functionality will only be applied as a prequalification criterion. Such criteria are used to establish minimum requirements where after bids will be evaluated solely on the basis of price and preference.</p>	
Functionality Criteria	Weighting Factor
Experience and capability Previous projects Provide APPOINTMENT LETTERS AND PRACTICAL COMPLETION OR FINAL COMPLETION CERTIFICATES of similar construction projects in size and scope, from R2 500 000.00 or above in Rand value per project, completed in the last 10 years Scoring 5 - projects =5 points 4 projects = 4 points 3 projects = 3 points 2 - projects = 2 points 1 - projects = 1 points 0 - projects = 0 points	30
Management Project full time key personnel in the service of bidder for the Duration of the project Provide certified copies of Qualifications within the Built Environment and a CV reflecting the relevant experience in Repair and Renovation Projects. Scoring 1 x with 5 years experience = 5 points 1 x with 4 years experience = 4 points 1 x with 3 years experience = 3 points 1 x with 2 years experience = 2 points 1 x with 1 years experience = 1 point	25
Workforce Provide certified copies of trade certificate of artisans to be employed on this project. Points will be awarded to the below mentioned workforce Bricklayers,carpenters,plumbers,electricians and painters	30

5 Painters, 4 plumbers, 4 carpenters, 4 electricians, 4 bricklayers = 5 points	
4 Painters, 3 plumbers, 3 carpenters, 3 electricians, 3 bricklayers = 4 points	
6 Painters, 3 plumbers, 3 carpenters, 3 electricians, 2 bricklayers = 3 points	
5 Painters, 2 plumbers, 2 carpenters, 2 electricians, 1 bricklayers = 2 points	
1 Painter, 1 plumber, 1 carpenters, 1 electrician, 1 bricklayers or less = 0 points	
Financial credibility	15
Provide Bank Rating from Banking Institute to justify credit risk.	
Credit Rating of A = 5	
Credit Rating of B = 4	
Credit Rating of C = 3	
Credit Rating of D = 2	
Credit Rating of E or lower = 0	
Total	100 Points
<i>(Weightings will be multiplied by the scores allocated during the evaluation process to arrive at the total functionality points)</i>	
Minimum functionality score to qualify for further evaluation:	50

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D. ELIGIBILITY IN RESPECT OF RISK TO EMPLOYER:

Standard risk management assessment criteria in respect of tenders received for routine projects in the engineering and construction works environments:

Tender offers will be evaluated by an Evaluation Committee based on the technical and commercial risk criteria listed hereunder. Each criterion carries the same weight / importance and will be evaluated individually based on reports presented to the Bid Evaluation Committee by the Professional Team appointed on the project. A tender offer will be declared non-responsive and removed from any further evaluation if any one criterion is found to present an unacceptable risk to the Employer.

In order for the evaluation reports to be prepared by the Professional Team, the Tenderer is obliged to provide comprehensive information on form DPW-09 (EC). Failure to complete the said form will cause the tender to be declared non-responsive and removed from any further consideration. The Employer reserves the right to request additional information over and above that which is provided by the Tenderer on said form. The information must be provided by the Tenderer within the stipulated time as determined by the Bid Evaluation Committee, failing which the tender offer will *mutatis mutandis* be declared non-responsive.

D.1 Technical risks:

Criterion 1: Experience on comparable projects during the past and 10 years.

The tendering Service Provider's experience on comparable projects during the past 10 years. The number of current and previous comparable projects performed by the Tenderer as per the evaluation report prepared by the Consultant Team, based on its research and inspection of a representative sample of the Tenderer's current and previous work as reflected on form DPW-09 (EC), as well as, if necessary, of any additional work executed by the Tenderer, not reflected on form DPW-09 (EC). Failing to provide contactable references will result in the tender offer will be *mutatis mutandis* declared non-responsive.

Aspects to be regarded as "comparable" includes (but may be extended according to circumstances): size of projects (measured against monetary value or other project quantifying parameters), nature of projects (building, engineering, high/low rise, etc.), locality/area of execution (site-specific influences, knowledge of local conditions, etc.), complexity of project, projects for similar client department irrespective of end purpose of buildings/facilities created or in progress of being created and time scales of projects (normal, fast track, etc.) and stage of its/their development.

Criterion 2: Contractual commitment and quality of performance on comparable projects during the past 10 years.

Adherence to contractual commitments and quality of performance of comparable current and previous projects performed by the Tenderer on comparable projects during the past 10 years as per the evaluation report prepared by the Consultant Team, based on its research and inspection of a representative sample of the Tenderer's current and previous work as reflected on form DPW-09 (EC), as well as, if necessary, of any additional work executed by the Tenderer, not reflected on form DPW-09 (EC). Failing to provide contactable references will result in the tender offer be *mutatis mutandis* declared non-responsive.

Aspects to be considered include, but are not limited to the following:

1. The level of progress on current projects in relation to the project programme or, if such is not available/applicable, to the contractual construction period in general;
2. The degree to which previous projects have been completed within the contractual completion periods and/or extensions thereto, and the extend of penalties imposed;

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<p>C.2.12</p>	<p>If a tenderer wishes to submit an alternative tender offer, the only criteria permitted for such alternative tender offer is that it demonstrably satisfies the Employer's standards and requirements. A tenderer may submit alternative tender offers only if a main tender offer, strictly in accordance with all the requirements of the tender documents, is also submitted. Provided that the tenderer's main tender offer is according to specification and would under normal circumstances be recommended for acceptance, his alternative tender offer may also be considered for the purpose of the award of the contract.</p> <p>Calculations, drawings and all other pertinent technical information and characteristics as well as modified or proposed Pricing Data must be submitted with the alternative tender offer to enable the Employer to evaluate the efficacy of the alternative and its principal elements, to take a view on the degree to which the alternative complies with the Employer's standards and requirements and to evaluate the acceptability of the pricing proposals. Calculations must be set out in a clear and logical sequence and must clearly reflect all design assumptions. Pricing Data must reflect all assumptions in the development of the pricing proposal.</p> <p>Acceptance of an alternative tender offer will mean acceptance in principle of the offer. It will be an obligation of the contract for the tenderer, in the event that the alternative is accepted, to accept full responsibility and liability that the alternative offer complies in all respects with the Employer's standards and requirements.</p> <p>The modified Pricing Data must include an amount equal to 5% of the amount tendered for the alternative offer to cover the Employer's costs of confirming the acceptability of the detailed design before it is constructed.</p> <p>Alternative tender offer permitted: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p>
<p>C.2.13.2</p>	<p>The list of Returnable Documents identifies which of the documents a tenderer must complete when submitting a tender offer. The tenderer must submit his tender offer by completing the Returnable Documents, signing the "Offer" section in the "Form of Offer and Acceptance" and delivering the Returnable Documents back to the Department.</p>
<p>C.2.13.5</p>	<p>The Employer's address for delivery of tender offers and identification details to be shown on each tender offer package are as per Notice and Invitation to Tender T1.1.</p>
<p>C.2.13.6 C.3.5</p>	<p>A two-envelope procedure will not be followed.</p>
<p>C.2.15</p>	<p>The closing time for submission of tender offers is as per Notice and Invitation to Tender T1.1.</p>
<p>C.2.16</p>	<p>The tender offer validity period is as per Notice and Invitation to Tender T1.1.</p>
<p>C2.16.3</p>	<p>Omit the wording of the last sentence for those projects which are subject to CPAP</p>
<p>C.2.18</p>	<p>The tenderer will be required to submit his fully priced Bills of Quantities / Lump Sum Document (complete document inclusive of all parts):</p> <p><input checked="" type="checkbox"/> Together with his tender; or <input type="checkbox"/> The tenderer shall submit his fully priced and completed sectional summary- and final summary pages with the tender and thereafter submit the fully completed Bills of Quantities within fourteen (14) calendar days of the date requested to do so prior to the award of the contract.</p>
<p>C.2.19</p>	<p>Access shall be provided for inspections, tests and analysis as may be required by the Employer.</p>
<p>C.3.4.1 C.3.4.2</p>	<p>The location for opening of the tender offers, immediately after the closing time thereof shall be at: <i>Id Magistrate Court, 21 – 23 Market Square, Kimberley, 8300</i></p>
<p>C.3.8</p>	<p>The words "responsive tender" and "acceptable tender" shall be construed to have the same meaning.</p>

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C.3.9.3	Omit the wording and replace with the following: "Notify the tenderer of all errors, omissions and/or rate imbalances that are identified in the tender offer and request the tenderer to, within a stipulated time, accept the total of prices as corrected in accordance with C.3.9.4."
C.3.9.4	Omit the wording of the first sentence and replace with the following: "In cases where tender offers contain errors, omissions and/or rate imbalances, these are to be corrected as follows:"
C.3.9.4	Add sub paragraph c) to C.3.9.4, as follows: "c) If the tenderer does not accept the corrected tender offer, or cannot reach consensus with the Employer on a corrected tender offer, the tender is to be classified as not acceptable/non responsive and removed from further contention."
C.3.11.1	The procedure for the evaluation of responsive tenders is Method 2: Financial Offer and Preference.
C.3.13	Add the following to sub paragraph a), as follows: The tenderer or any of its directors is not listed on the Register of Tender Defaulters in terms of the Prevention and Combating of Corrupt Activities Act, 2004 (Act No. 12 of 2004) as a person prohibited from doing business with the public sector;
C.3.17	Provide to the successful tenderer one copy of the signed contract document.

VOLUME 2: RETURNABLE DOCUMENTS

T2.1 LIST OF RETURNABLE DOCUMENTS

PA-09 (EC): LIST OF RETURNABLE DOCUMENTS

Project title:	HANOVER MAGISTRATE'S OFFICE HERITAGE - REPAIRS AND RENOVATIONS		
Tender / Quotation no:	KIM08/2022	Reference no:	19/2/4/2/2/2374/10
Receipt Number:			

1. RETURNABLE DOCUMENTS REQUIRED FOR TENDER EVALUATION PURPOSES

Note: Failure to submit the applicable documents will result in the tender offer being disqualified from further consideration.

Tender document name	Number of pages issued	Returnable document
Form of Offer and Acceptance (DPW-07 EC)	4 Pages	Yes
Submission of Bidder's disclosure (PA-11)	3 Pages	Yes
Resolution of Board of Directors (PA-15.1) <i>(if applicable)</i>	1 Page	Yes
Resolution of Board of Directors to enter into Consortia or JV's (PA-15.2) <i>(if applicable)</i>	2 Pages	Yes
Special Resolution of Consortia or JV's (PA-15.3) <i>(if applicable)</i>	3 Pages	Yes
Preference points claim form in terms of the Preferential Procurement Regulations 2017 (PA – 16.1)	5 Pages	Yes
Declaration Certificate for Local Production and Content for designated sectors (PA – 36 and Annexure/s C)	4 Pages	Yes
Fully completed Declaration of Designated Groups for Preferential Procurement (PA 40)	2 Pages	Yes
Registration on National Treasury's Central Supplier Database (CSD).	-	Yes
Particulars of Tenderer's Projects (DPW-09 EC)	2 Pages	Yes
Site Inspection Meeting Certificate (DPW-16 EC) <i>(if applicable)</i> .	1 Page	Yes
Record of attending compulsory virtual bid clarification / site inspection meeting <i>(if applicable)</i> .	1 Page	YES
Record of Addenda to tender documents (DPW-21 EC)	1 Page	Yes
Proof of 30% Subcontracting participation and related documents in terms of the Preferential Procurement Regulations 2017 <i>(if applicable)</i> .		N/A

* In compliance with the requirements of the cidb SFU Annexure G

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2. ADDITIONAL RETURNABLE DOCUMENTS REQUIRED FOR TENDER EVALUATION PURPOSES

Note: Failure to submit the applicable documents will result in the Tenderer having to submit same upon request within a stipulated time and if not complied with, will result in the tender offer being disqualified from further consideration. [See also C.2.18 of the Standard Conditions of Tender]

Tender document name	Number of pages issued	Returnable document
Any <u>additional</u> information required to complete a risk assessment (<i>if applicable</i>)	-	Yes
Any correction to be initialled by the person authorised to sign the tender documentation as per PA 15.1 or PA 15.2 resolution of board/s of directors / or PA15.3 Special Resolution of Consortia or JV's .		YES
Submission of applicable (PA-15.1, PA-15.2, PA-15.3): Resolution by the legal entity, or consortium / joint venture, authorising a dedicated person(s) to sign documents on behalf of the firm / consortium / joint venture.		YES

3. RETURNABLE DOCUMENTS THAT WILL BE INCORPORATED INTO THE CONTRACT

Note: Failure to submit the applicable documents will result in the Tenderer having to submit same upon request within a stipulated time and if not complied with, will result in the tender offer being disqualified from further consideration. [See also C.2.18 of the Standard Conditions of Tender]

Tender document name	Number of pages issued	Returnable document
Schedule of proposed sub-contractors (DPW-15 EC) (<i>if applicable</i>)	1 Page	Yes
Particulars of Electrical Contractor (DPW-22 EC) (<i>if applicable</i>)	1 Page	Yes
Mechanical / Electrical / Security Work material and equipment schedules (<i>if applicable</i>)	Pages	Yes
Schedule for Imported Materials and Equipment (DPW-23 EC) (<i>if applicable</i>)	1 Page	Yes

4. OTHER DOCUMENTS THAT WILL BE INCORPORATED INTO THE CONTRACT

(Insert a tick in the "Returnable document" column to indicate which documents must be returned with the tender)

Note: Failure to submit the applicable documents will result in the tender offer being disqualified from further consideration.

Tender document name	Number of pages issued	Returnable document
Priced Bills of Quantities / Lump Sum Document (complete document inclusive of all parts)	Pages	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fully priced and completed sectional summary- and final summary pages with the tender.	Pages	<input type="checkbox"/> Yes <input type="checkbox"/> No

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Tender document name	Number of pages issued	Returnable document
<i>insert document name</i>	Pages	<input type="checkbox"/> Yes <input type="checkbox"/> No
<i>insert document name</i>	Pages	<input type="checkbox"/> Yes <input type="checkbox"/> No
<i>insert document name</i>	Pages	<input type="checkbox"/> Yes <input type="checkbox"/> No

5. ADDITIONAL INFORMATION THAT MAY BE REQUIRED FOR TENDER EVALUATION PURPOSES

Legal Status of Tendering Entity: If the Tendering Entity is:	Documentation to be submitted with the tender, or which may be required during the tender evaluation:
a. A close corporation, incorporated prior to 1 May 2011 under the Close Corporations Act, 1984 (Act 69 of 1984, as amended)	Copies of the Founding Statement – CK1
b. A profit company duly registered as a private company. [including a profit company that meets the criteria for a private company, whose Memorandum of Incorporation states that the company is a personal liability company in terms of Section 8(2)(c) of the Companies Act, 2008 (Act 71 of 2008, as amended)].	Copies of: i. Certificate of Incorporation – CM1; ii. Shareholding Certificates of all Shareholders of the company, plus a signed statement of the company's Auditor, certifying each Shareholder's ownership / shareholding percentage relative to the total; and/or iii. Memorandum of Incorporation in the case of a personal liability company.
c. A profit company duly registered as a private company in which any, or all, shares are held by one or more other close corporation(s) or company(ies) duly registered as profit or non-profit company(ies).	Copies of documents referred to in a. and/or b. above in respect of all such close corporation(s) and/or company(ies).
d. A profit company duly registered as a public company.	Copy of Certificate of Incorporation – CM1, and a signed statement of the company's Secretary or Auditor confirming that the company is a public company.
e. A non-profit company, incorporated in terms of Section 10 and Schedule 1 of the Companies Act, 2008 (Act 71 of 2008, as amended).	Copies of: i the Founding Statement – CK1; and ii the Memorandum of Incorporation setting out the object of the company, indicating the public benefit, cultural or social activity, or communal or group interest.
f. A natural person, sole proprietor or a Partnership	Copy(ies) of the Identity Document(s) of: i. such natural person/ sole proprietor, or each of the Partners to the Partnership.
g. A Trust	Deed of Trust duly indicating names of the Trustee(s) and Beneficiary (ies) as well as the purpose of the Trust and the mandate of the Trustees.

Signed by the Tenderer

Name of representative	Signature	Date

C1.1 FORM OF OFFER AND ACCEPTANCE

DPW-07 (EC): FORM OF OFFER AND ACCEPTANCE

Project title:	HANOVER MAGISTRATE'S OFFICE HERITAGE - REPAIRS AND RENOVATIONS		
Tender / Quotation no:	KIM08/2022	Reference no:	19/2/4/2/2/2374/10

OFFER

The Employer, identified in the acceptance signature block, has solicited offers to enter into a contract for the procurement of:
REPAIRS AND RENOVATIONS

The Tenderer, identified in the offer signature block, has examined the documents listed in the tender data and addenda thereto as listed in the returnable schedules, and by submitting this offer has accepted the conditions of tender.

By the representative of the Tenderer, deemed to be duly authorized, signing this part of this form of offer and acceptance, the Tenderer offers to perform all of the obligations and liabilities of the Contractor under the contract including compliance with all its terms and conditions according to their true intent and meaning for an amount to be determined in accordance with the conditions of contract identified in the contract data.

THE TOTAL OFFER INCLUSIVE OF ALL APPLICABLE TAXES (All applicable taxes" includes value- added tax, pay as you earn, income tax, unemployment insurance fund contributions and skills development levies) IS:

Rand (in words):
Rand in figures:	R

The amount in words takes precedence over the amount in figures. The award of the tender may be subjected to further price negotiation with the preferred tenderer(s). The negotiated and agreed price will be considered for acceptance as **a firm and final offer**.

This offer may be accepted by the Employer by signing the acceptance part of this form of offer and acceptance and returning one copy of this document to the Tenderer before the end of the period of validity stated in the tender data, whereupon the Tenderer becomes the party named as the Contractor in the conditions of contract identified in the contract data.

THIS OFFER IS MADE BY THE FOLLOWING LEGAL ENTITY: (cross out block which is not applicable)

Company or Close Corporation: And: Whose Registration Number is: And: Whose Income Tax Reference Number is: CSD supplier number:.....	OR	Natural Person or Partnership: Whose Identity Number(s) is/are: Whose Income Tax Reference Number is/are: CSD supplier number:.....
--	----	--

*Any reference to words "Bid" or "Bidder" herein and/or in any other documentation shall be construed to have the same meaning as the words "Tender" or "Tenderer".
 **Any reference to the words "payment reduction" herein shall be construed to have the same meaning as the word "retention"
 For Internal & External Use

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AND WHO IS (if applicable):	
Trading under the name and style of:	
AND WHO IS:	
Represented herein, and who is duly authorised to do so, by: Mr/Mrs/Ms: In his/her capacity as:	Note: A Resolution / Power of Attorney, signed by all the Directors / Members / Partners of the Legal Entity must accompany this Offer, authorising the Representative to make this offer.

SIGNED FOR THE TENDERER:

Name of representative	Signature	Date

WITNESSED BY:

Name of witness	Signature	Date

This Offer is in respect of: (Please indicate with an "X" in the appropriate block)

- The official documents
- The official alternative
- Own alternative (only if documentation makes provision therefore)

(N.B.: Separate Offer and Acceptance forms are to be completed for the main and for each alternative offer)

SECURITY OFFERED:

- (a) the Tenderer accepts that in respect of contracts up to R1 million, a payment reduction** of 5% of the contact value (excluding VAT) will be applicable and will be deducted by the Employer in terms of the applicable conditions of contract
- (b) in respect of contracts above R1 million, the Tenderer offers to provide security as indicated below:
- (1) cash deposit of 10 % of the Contract Sum (excluding VAT) Yes No
 - (2) variable construction guarantee of 10 % of the Contract Sum (excluding VAT) Yes No
 - (3) payment reduction of 10% of the value certified in the payment certificate (excluding VAT) Yes No
 - (4) cash deposit of 5% of the Contract Sum (excluding VAT) and a payment reduction of 5% of the value certified in the payment certificate (excluding VAT) Yes No
 - (5) fixed construction guarantee of 5% of the Contract Sum (excluding VAT) and a payment reduction of 5% of the value certified in the payment certificate (excluding VAT) Yes No

NB. Guarantees submitted must be issued by either an insurance company duly registered in terms of the Insurance Act [Long-Term Insurance Act, 1998 (Act 52 of 1998) or Short-Term Insurance Act, 1998 (Act 35 of 1998)] or by a bank duly registered in terms of the Banks Act, 1990 (Act 94 of 1990) on the pro-forma referred to above. No alterations or amendments of the wording of the pro-forma will be accepted.

*Any reference to words "Bid" or "Bidder" herein and/or in any other documentation shall be construed to have the same meaning as the words "Tender" or "Tenderer".

**Any reference to the words "payment reduction" herein shall be construed to have the same meaning as the word "retention" Page 2 of 4

Tender / Quotation no: KIM08/2022

The Tenderer elects as its *domicilium citandi et executandi* in the Republic of South Africa, where any and all legal notices may be served, as (physical address):

.....

.....

Other Contact Details of the Tenderer are:

Telephone No..... Cellular Phone No.

Fax No

Postal address

Banker Branch.....

Registration No of Tenderer at Department of Labour

CIDB Registration Number:

ACCEPTANCE

By signing this part of this form of offer and acceptance, the Employer identified below accepts the Tenderer's offer. In consideration thereof, the Employer shall pay the Contractor the amount due in accordance with the conditions of contract identified in the contract data. Acceptance of the Tenderer's offer shall form an agreement between the Employer and the Tenderer upon the terms and conditions contained in this agreement and in the contract that is the subject of this agreement.

The terms of the contract are contained in:

Part C1 Agreement and contract data, (which includes this agreement)

Part C2 Pricing data

Part C3 Scope of work

Part C4 Site information and drawings and documents or parts thereof, which may be incorporated by reference into the above listed Parts.

Deviations from and amendments to the documents listed in the tender data and any addenda thereto as listed in the tender schedules as well as any changes to the terms of the offer agreed by the Tenderer and the Employer during this process of offer and acceptance, are contained in the schedule of deviations attached to and forming part of this agreement. No amendments to or deviations from said documents are valid unless contained in this schedule.

The Tenderer shall within two weeks after receiving a completed copy of this agreement, including the schedule of deviations (if any), contact the Employer's agent (whose details are given in the contract data) to arrange the delivery of any securities, bonds, guarantees, proof of insurance and any other documentation to be provided in terms of the conditions of contract identified in the contract data. Failure to fulfil any of these obligations in accordance with those terms shall constitute a repudiation of this agreement.

Notwithstanding anything contained herein, this agreement comes into effect on the date when the tenderer receives one fully completed original copy of this document, including the schedule of deviations (if any). Unless the tenderer (now contractor) within five (5) working days of the date of such receipt notifies the employer in writing of any reason why he/she cannot accept the contents of this agreement, this agreement shall constitute a binding contract between the parties.

For the Employer:

Name of signatory	Signature	Date

*Any reference to words "Bid" or "Bidder" herein and/or in any other documentation shall be construed to have the same meaning as the words "Tender" or "Tenderer".

**Any reference to the words "payment reduction" herein shall be construed to have the same meaning as the word "retention"

Tender / Quotation no: KIM08/2022

Name of Organisation:	Department of Public Works and Infrastructure
Address of Organisation:	<i>21-23 Market Square, Kimberley 8301. Old Magistrates Building</i>

WITNESSED BY:

Name of witness	Signature	Date

Schedule of Deviations

1.1.1. Subject:
Detail:
1.1.2. Subject:
Detail:
1.1.3. Subject:
Detail:
1.1.4. Subject:
Detail:
1.1.5. Subject:
Detail:
1.1.6. Subject:
Detail:

By the duly authorised representatives signing this agreement, the Employer and the Tenderer agree to and accept the foregoing schedule of deviations as the only deviations from and amendments to the documents listed in the tender data and addenda thereto as listed in the tender schedules, as well as any confirmation, clarification or changes to the terms of the offer agreed by the Tenderer and the Employer during this process of offer and acceptance.

It is expressly agreed that no other matter whether in writing, oral communication or implied during the period between the issue of the tender documents and the receipt by the Tenderer of a completed signed copy of this Agreement shall have any meaning or effect in the contract between the parties arising from this agreement.

*Any reference to words "Bid" or "Bidder" herein and/or in any other documentation shall be construed to have the same meaning as the words "Tender" or "Tenderer".

**Any reference to the words "payment reduction" herein shall be construed to have the same meaning as the word "retention"
For Internal & External Use

C2.2 BILLS OF QUANTITIES

PRELIMINARIES

SECTION 1**PRELIMINARIES****MEANING OF TERMS "TENDER / TENDERER"**

Any reference to the words "Tender" or "Tenderer" herein and/or in any other documentation shall be construed to have the same meaning as the words "Bid" or "Bidder"

BUILDING AGREEMENT AND PRELIMINARIES

The **JBCC** Principal Building Agreement (Edition 6.2 - May 2018) prepared by the Joint Building Contracts Committee shall be the applicable building agreement, amended as hereinafter described to be read in conjunction with the **Contract Data** issued with the tender.

The **JBCC** General Preliminaries (May 2018) published by the Joint Building Contracts Committee for use with the **JBCC** Principal Building Agreement (Edition 6.2 - May 2018) shall be deemed to be incorporated in these **bills of quantities / lump sum** document, amended as hereinafter described

The **contractor** is deemed to have referred to the abovementioned documents for the full intent and meaning of each clause

The clauses in the abovementioned documents are hereinafter referred to by clause number and heading only

Where any item is not relevant to this **agreement** such item is marked N/A signifying "not applicable"

Where standard clauses or alternatives are not entirely applicable to this **agreement** such amendments, modifications, corrections or supplements as will apply are given under each relevant clause heading and such amendments, modifications, corrections or supplements shall take precedence notwithstanding anything to the contrary contained in the abovementioned documents

TENDERER'S SELECTIONS

Before submission of his tender the **contractor** is to complete the tenderer's selections in the **contract data for organs of state and other public sector bodies**

STRUCTURE OF THIS PRELIMINARIES BILL

Section A : A recital of the headings of the individual clauses in the aforementioned **JBCC** Principal Building Agreement

Section B : A recital of the headings of the individual clauses in the aforementioned **JBCC** General Preliminaries

Section C : Any special clauses to meet the particular circumstances of the project

PRICING OF PRELIMINARIES

Should the **contractor** select Option A in the **contract data for organs of state and other public sector bodies** for the adjustment of **preliminaries**, the amounts entered against the relevant items in these **preliminaries** are to be divided into one or more of the three categories provided namely fixed (F), value related (V) and time related (T)

PRICING OF BILLS OF QUANTITIES

The **contractor** is to allow opposite each item for all costs in connection therewith. All prices to include, unless otherwise stated, for all materials, fabrication, conveyance and delivery, unloading, storing, unpacking, hoisting, labour, setting, fitting and fixing in position, cutting and waste (except where to be measured in accordance with the standard system of measurement), patterns, models and templates, plant, temporary works, returning of packaging, duties, taxes (other than Value Added Tax), imposts, establishment charges, overheads, profit and all other obligations arising out of this **agreement**.

Items left unpriced will be deemed to be covered in prices against other items throughout these **bills of quantities** and no claim for any extras arising out of the **contractor's** omission to price any item will be entertained

Prices for all **construction equipment**, temporary works, services and other items shall include for the supply, maintenance, operating cost and subsequent removal and making good as necessary

VALUE ADDED TAX

Provision is made in the summary page of these **bills of quantities** / lump sum document for the inclusion of Value Added Tax (VAT)

SECTION A: PRINCIPAL BUILDING AGREEMENT

INTERPRETATION

A1.0 DEFINITIONS AND INTERPRETATION

Clause 1.0

The following definitions replace corresponding definitions or are added to the definitions in the JBCC PRINCIPAL BUILDING AGREEMENT (Edition 6.2 of May 2018), whatever the case may be

ADVERSE WEATHER CONDITIONS: Adverse weather and inclement weather has the same meaning and used interchangeably and means any weather conditions i.e.: Rain, wind, snow, frost, temperature (cold or heat) that are not in the norm for the area where the construction takes place and during which no work is possible on site

AGREEMENT: The completed Form of Offer and Acceptance, the completed JBCC® Principal Building Agreement and contract data for organs of state and other public sector bodies, the contract drawings, the priced document and any other documents reduced to writing and signed by the authorised representative or representatives of the parties

CONSTRUCTION PERIOD: The period commencing on the date of possession of the **site** by the **contractor** and ending on the date of **practical completion**

CONTRACT PERIOD: The period commencing on the date of the letter of acceptance and ending on the date of final completion

COST FLUCTUATION shall mean contract price adjustment provision (CPAP) for the adjustment of fluctuation in the cost of labour, plant, material and goods as stated in the schedule

DEFAULT INTEREST: No Clause

GUARANTEE FOR CONSTRUCTION: A security in terms of the DPWI’s Guarantee for Construction form/s, obtained by the contractor from an institution approved by the employer [CD]

INTEREST: The interest rates applicable on this contract, whether specifically indicated in the relevant clauses or not, will be the rate as determined by the Minister of Finance from time to time, in terms of section 80(1)(b) of the Public Finance Management Act, 1999 (Act No 1 of 1999) as amended, calculated as simple interest, in respect of debts owing to the State, and will be the rate as published by the Minister of Justice and Correctional Services from time to time, in terms of section 1(2) of the Prescribed Rate of Interest Act, 1975 (Act No 55 of 1975) as amended, calculated as simple interest, in respect of debts owing by the State

LETTER OF ACCEPTANCE: The letter of formal acceptance of the Contractor’s or Service Provider’s Tender / Bid, issued and signed by the Employer

PAYMENT CERTIFICATE: A certificate issued at regular agreed intervals [CD] by the principal agent to the parties certifying the amount due and payable in terms of Clause 25.3

PRINCIPAL AGENT: The person or entity appointed by the **employer** and named in the **contract data for organs of state and other public sector bodies**. In the event of a **principal agent** not being appointed, then all the duties and obligations of a **principal agent** as detailed in the **agreement** shall be fulfilled by the employer’s representative as named in the **contract data for organs of state and other public sector bodies**

TARGETED SUBCONTRACTORS: Subcontractors that must be appointed to a total of 30% or more of the contract sum, by the contractor, projects with a contract sum of the amount determined by the Minister in terms of the latest Preferential Procurement regulations, as may be amended from time to time.

F:..... V:..... T:..... Item

A2.0 **LAW, REGULATIONS AND NOTICES**

Clause 2.0

F:..... V:..... T:..... Item

A3.0 **OFFER AND ACCEPTANCE**

Replace Clause 3.3 with the following:

This **agreement** shall come into force on the date of **letter of acceptance** and continue to be of force and effect until the end of the **latent defects** liability period [22.0] notwithstanding termination [29.0] or the certification of **final completion** [21.0] and final payment [25.0]

F:..... V:..... T:..... Item

A4.0 **CESSION AND ASSIGNMENT**

Clause 4.0

Ref Clause 6.7 [CD] - Clause 4.2

Replace Clause 4.3 with the following:

Where a **contractor** cedes any right or any monies due to or to become due under this **agreement** as security in favour of a financial institution, the prior written consent of the **employer**, which consent shall not be unreasonably withheld, must be obtained

F:..... V:..... T:..... Item

SECTION 1: PRELIMINARIES (SECTION A)

Each Item Carried to Collection

A5.0 DOCUMENTS

Clause 5.0

Replace last sentence of Clause 5.2 with the following:
The original signed agreement shall be held by the Employer

Replace Clause 5.4 with the following:
The Bills of Quantities shall not be used as a specification of material and goods or methods unless so instructed by the Principal Agent. The contractor may not use the Bills of Quantities for purpose of ordering material. All dimensions and quantities must be determined on site before ordering. In the event of discrepancy between the drawings and Bills of Quantity, the drawings shall take preference

Replace Clause 5.5 with the following:
The parties may publish or disclose on any platform only the contract scope and contract amount

F:..... V:..... T:..... Item

A6.0 EMPLOYER'S AGENTS

Clause 6.0

Replace Clause 6.5 with the following:
Where the principal agent and/or an agent fails to act or is unable to act or ceases to be the principal agent or an agent in terms of this agreement, the employer shall appoint another principal agent and/or an agent

Add the following as Clause 6.7:
In terms of the clauses listed hereunder, the employer has retained its authority and has not given a mandate to the principal agent, notwithstanding other provisions in the contract. The employer shall sign all documents in relation to clauses 4.2, 14.1.4, 14.4.1, 14.6, 15.1.4, 15.4.1, 23.1, 23.2, 23.3, 23.7, 23.8, 26.1, 26.7, 26.12

F:..... V:..... T:..... Item

A7.0 DESIGN RESPONSIBILITY

Clause 7.0

Replace first sentence of Clause 7.2 with the following:
Any design responsibility undertaken by a subcontractor shall not devolve on the contractor except for items that require specific component design and or compatibility design and or shop drawings and or the assembly thereof

F:..... V:..... T:..... Item

INSURANCES AND SECURITIES

A8.0 WORKS RISK

Clause 8.0

Replace Clause 8.4 with the following:
The contractor shall bear the full risk of damage to and/or destruction of the works by whatever cause during construction of the works and hereby indemnifies and holds harmless the employer against any such damage. The contractor shall take such precautions and security measures and other steps for the protection and security of the works as the contractor may deem necessary

	F:..... V:..... T:.....	Item
A9.0	<p>INDEMNITIES</p> <p>Clause 9.0</p> <p>Add the following to the end of the first sentence of Clause 9.2.7: “.... due to no fault of the contractor</p> <p>9.2.9 No Clause</p> <p>9.2.10 No Clause</p> <p>Add the following as clause 9.3: The employer’s rights to claim damages for the contractor’s omissions and actions will not be affected.</p>	
	F:..... V:..... T:.....	Item
A10.0	<p>INSURANCES</p> <p>Clause 10.0</p> <p>Replace Clause 10.1 with the following: The party responsible shall effect and keep the respective insurances [CD] in force, in favour of the employer as beneficiary , from the date of possession of the site until the issue of the certificate of practical completion and with an extension to cover the contractors obligations after the date of practical completion [8.2.2]</p> <p>Add the following as Clause 10.1.5.1: Hi Risk Insurance In the event of the project being executed in a geological area classified as a “High Risk Area”, that is an area which is subject to highly unstable sub-surface conditions that might result in catastrophic ground movement evident by sinkhole or doline formation the following will apply</p> <p>Add the following as Clause 10.1.5.1.1 Damage to the works The contractor shall, from the date of possession of the site until the date of the certificate of practical completion, bear the full risk of and hereby indemnifies and holds harmless the employer against any damage to and/or destruction of the works consequent upon a catastrophic ground movement as mentioned above. The contractor shall take such precautions and security measures and other steps for the protection of the works as he may deem necessary</p> <p>When so instructed to do so by the principal agent, the contractor shall proceed immediately to remove and/or dispose of any debris arising from damage to or destruction of the works and to rebuild, restore, replace and/or repair the works, at the contractor’s own costs</p> <p>10.1.5.1.2 Injury to persons or loss of or damage to property The contractor shall be liable for and hereby indemnifies and holds harmless the employer against any liability, loss, claim or proceeding arising at any time during the period of the contract whether arising in common law or by statute, consequent upon personal injuries to or the death of any person whomsoever resulting from, arising out of or caused by a catastrophic ground movement as mentioned above</p> <p>The contractor shall be liable for and hereby indemnifies the employer against any and all liability, loss, claim or proceeding consequent upon loss of or damage to any moveable, or immovable property, or personal property, or property contiguous to the site, whether belonging to or under the control of the employer or any other body or person whomsoever arising out of or caused by a catastrophic ground movement, as mentioned above, which occurred during the period of the contract</p>	

SECTION 1: PRELIMINARIES (SECTION A)

Each Item Carried to Collection

10.1.5.1.3 Replace Clause with the following:

It is the responsibility of the **contractor** to ensure that he has adequate insurance to cover his risk and liability as mentioned in 10.1.5.1.1 and 10.1.5.1.2. Without limiting the **contractor's** obligations in terms of the contract, the **contractor** shall, within twenty-one (21) **calendar days of the date of letter of acceptance**, but before commencement of the **works**, submit to the **employer** proof of such insurance policy.

10.1.5.1.4 Replace Clause with the following:

The **employer** shall be entitled to recover any and all losses and/or damages of whatever nature suffered or incurred consequent upon the **contractor's** default of his obligations as set out in 10.1.5.1.1; 10.1.5.1.2 and 10.1.5.1.3. Such losses or damages may be recovered from the **contractor** or by deducting the same from any amounts still due under this contract or under any other contract presently or hereafter existing between the **employer** and the **contractor** and for this purpose all these contracts shall be considered one indivisible whole

10.2 Replace Clause with the following:

Where practical completion in sections is required [20.0), or where the works is for alterations and additions, the contractor shall effect and keep in force contract works insurance [10.1.1], supplementary insurance [10.1.2], public liability insurance [10.1.3] and where applicable, removal of lateral support insurance [10.1.4] and other insurances [10.1.5) in favour of the employer as beneficiary

10.6 No Clause

Add the following as Clause 10.11

In the event that an insurer dispute the amount of the claim to be paid to the employer, the contractor shall be liable to the employer for the difference between the claim (as determined by the employers QS appointed on the project) made by the employer and the amount that the insurer is willing to pay

F:..... V:..... T:.....

Item

A11.0

SECURITIES

Add the following as to the relevant related Clauses as follows:

Add the following to Clause 11.1:

In respect of contracts with a contract sum up to R1 million, the security to be provided by the contractor to the employer will be a payment reduction of five per cent (5%) of the value certified in the payment certificate (excluding VAT).

In respect of contracts with a contract sum above R1 million, the contractor shall have the right to select the security to be provided in terms of C 1.0 Securities, as stated in the schedule. Such security shall be provided to the employer within fifteen (15) working days from commencement date. Should the contractor fail to select the security to be provided or should the contractor fail to provide the employer with the selected security within fifteen (15) working days from commencement date, the security in terms of C 1.0 Option C shall be deemed to have been selected.

The payment reduction of the value certified in a payment certificate shall be mutatis mutandis in terms of 25.12.1 - 25.12.5

11.1.1 No Clause

11.1.2 No Clause

11.2.2 No Clause

11.3 No Clause

Replace Clause 11.4.1 with the following:

Hand over the site to the contractor and withhold an amount equal to ten per cent (10%) of each interim payment certificate until practical completion is achieved. The value certified shall be subject to the adjustments in terms of 25.12.6 to 25.12.10.

11.5 No Clause

11.6 No Clause

11.7 No Clause

11.8 No Clause

11.9 No Clause

11.10 No Clause

Add the following as Clause 11.11:

Where the security as a cash deposit of ten per cent (10%) of the contract sum (excluding VAT) has been selected:

Add the following as Clause 11.11.1:

The contractor shall furnish the employer with a cash deposit equal in value to ten percent (10%) of the contract sum (excluding VAT) within fifteen (15) working days from commencement date. Failure to furnish the employer with a cash deposit within fifteen (15) working days Clause 11.4 will apply mutatis mutandis.

Add the following as Clause 11.11.2:

The employer shall be entitled to recover expense and loss from the cash deposit in terms of Clause 27.0 provided that the employer notifies the Contractor in which event the employer's entitlement shall take precedence over his obligations to refund the cash deposit security or portions thereof to the contractor.

Add the following as Clause 11.11.3:

Within fifteen (15) working days of the date of practical completion of the works the employer shall reduce the cash deposit to an amount equal to three per cent (3%) of the contract value (excluding VAT) and refund the balance to the contractor

Add the following as Clause 11.11.4:

Within fifteen (15) working days of the date of final completion of the works the employer shall reduce the cash deposit to an amount equal to one per cent (1%) of the contract value (excluding VAT) and refund the balance to the contractor.

Add the following as Clause 11.11.5:

On the date of payment of the amount in the final payment certificate, the employer shall refund the remainder of the cash deposit to the contractor.

Add the following as Clause 11.11.6:

The parties expressly agree that neither the employer nor the contractor shall be entitled to cede the rights to the deposit to any third party.

Add the following as Clause 11.12:

Where security as a variable construction guarantee of ten percent (10%) of the contract sum (excluding VAT) has been selected:

Add the following as Clause 11.12.1:

The contractor shall furnish the employer with an acceptable variable construction guarantee equal in value to ten per cent (10%) of the contract sum (excluding VAT) within fifteen (15) working days after issuance of the letter of acceptance. Failure to submit an acceptable variable construction guarantee within fifteen (15) working days Clause 11.4 will apply mutatis mutandis.

Add the following as Clause 11.12.2:

The variable construction guarantee shall reduce and expire in terms of the Variable Construction Guarantee form included in the invitation to tender.

Add the following as Clause 11.12.3:

The employer shall return the variable construction guarantee to the contractor within fourteen (14) calendar days of it expiring.

Add the following as Clause 11.12.4:

Where the employer has a right of recovery against the contractor in terms of 27.0, the employer shall issue a written demand in terms of the variable construction guarantee.

Add the following as Clause 11.13:

Where security as a fixed construction guarantee of five per cent (5%) of the contract sum (excluding VAT) and a five per cent (5%) payment reduction of the value certified in the payment certificate (excluding VAT) has been selected:

Add the following as Clause 11.13.1:

The contractor shall furnish a fixed construction guarantee to the employer equal in value to five per cent (5%) of the contract sum (excluding VAT).

Add the following as Clause 11.13.2:

The fixed construction guarantee shall come into force on the date of issue and shall expire on the date of the last certificate of practical completion.

Add the following as Clause 11.13.3:

The employer shall return the fixed construction guarantee to the contractor within fourteen (14) calendar days of it expiring.

Add the following as Clause 11.13.4:

The payment reduction of the value certified in a payment certificate shall be mutatis mutandis in terms of 25.12.1 - 25.12.5.

Add the following as Clause 11.13.5:

Where the employer has a right of recovery against the contractor in terms of 27.0, the employer shall be entitled to issue a written demand in terms of the fixed construction guarantee or may recover from the payment reduction or from both.

Add the following as Clause 11.14.1:

Where security as a cash deposit of five per cent (5%) of the contract sum (excluding VAT) and a payment reduction of five per cent (5%) of the value certified in the payment certificate (excluding VAT) has been selected:

Add the following as Clause 11.14.2:

The contractor shall furnish the employer with a cash deposit equal in value to five per cent (5%) of the contract sum (excluding VAT) within fifteen (15) working days from commencement date. Failure to submit a cash deposit within fifteen (15) working days Clause 11.4 will apply mutatis mutandis.

Add the following as Clause 11.14.3:

Within fifteen (15) working days of the date of practical completion of the works the employer shall refund the cash deposit in total to the contractor.

Add the following as Clause 11.14.4:

The payment reduction of the value certified in a payment certificate shall be mutatis mutandis in terms of 25.12.1 - 25.12.5.

Add the following as Clause 11.14.5:

Where the employer has a right of recovery against the contractor in terms of 27, the employer may recover from the payment reduction or cash deposit or from both.

Add the following as Clause 11.15:

Where security as a payment reduction of ten per cent (10%) of the value certified in the payment certificate (excluding VAT) has been selected.

Add the following as Clause 11.15.1:

The payment reduction of the value certified in a payment certificate shall be mutatis mutandis in terms of 25.12.6 to 25.12.10.

Add the following as Clause 11.15.2:

The employer shall be entitled to recover expense and loss from the cash deposit in terms of 27.0 provided that the employer notifies the Contractor in which event the employer's entitlement shall take precedence over his obligations to refund the cash deposit security or portions thereof to the contractor.

Add the following as Clause 11.16:

Payments made by the guarantor to the employer in terms of the fixed or variable construction guarantee shall not prejudice the rights of the employer or contractor in terms of this agreement.

Add the following as Clause 11.17:

Should the contractor fail to furnish the security in terms of 11.2 the employer, in his sole discretion, and without notification to the contractor, is entitled to change the contractor's selected form of security to that of a ten per cent (10%) payment reduction of the value certified in the payment certificate (excluding VAT).

F:..... V:..... T:.....

Item

EXECUTION

A12.0

OBLIGATIONS OF THE PARTIES

Clause 12.0

12.1.1 No Clause

Replace Clause 12.1.5 with the following:

Give possession of the site to the contractor within ten (10) working days after approval of the Health and Safety Plan or the issue of a construction permit by the Department of Labour, if applicable, after the contractor complied with the terms of 12.2.22

12.1.6 No Clause

12.1.8 No Clause

Replace Clause 12.2.2 with the following:

The priced Bills must be submitted to the Employer within fourteen (14) calendar days from date of request. Where the priced document contains errors or discrepancies and/or prices considered by the employer or principal agent to be imbalanced or unreasonable the employer or principal agent and the contractor shall adjust such prices without any change to the contract sum

Replace Clause 12.2.5 with the following :

Effect and keep in force insurances in favour of the employer as beneficiary where the contractor is responsible for providing insurances [10.0] [CD]

Replace Clause 12.2.13 with the following:

Designate a competent person full time on site to continuously administer and control the works on site and to receive and implement notices and contract instructions on behalf of the contractor

Add the following as Clause 12.2.22:**SECTION 1: PRELIMINARIES (SECTION A)**

Each Item Carried to Collection

Within fourteen (14) working days of the date of the letter of acceptance submit to the principal agent an acceptable health and safety plan, required in terms of the Occupational Health and Safety Act, 1993 (Act No 85 of 1993)

Add the following as Clause 12.2.23:

The contractor shall within reasonable time inform the agents regarding inspection of the works before covering / closing [B 12.0]

Offices

The **contractor** shall provide, maintain and remove on completion of the **works** an office for the exclusive use of the **principal agent**, minimum size 4 x 3 x 3m high internally, suitably insulated and ventilated, provided with electric lighting and fitted with boarded floor, desk, chair, drawing stool, drawing board and lock-up drawers for drawings. The office shall be kept clean and fit for use at all times [12.2.18]

F:..... V:..... T:..... Item

Main notice board

The **contractor** shall provide, erect where directed, maintain and remove on completion of the **works** a notice board size 3 x 3m as type Drawing GEN 063, constructed of suitable boarding with flat smooth surface and with edging bead 19mm thick round outer edges and projecting 12mm from face of boarding and rounded on front edge. The board shall be securely fixed to hoarding, where hoarding is provided, or fixed to and including a suitable supporting structure of timber or tubular posts and braces. The board is to be painted ivory white and the bead and 12mm wide dividing lines dark green. All wording shall be inscribed in dark green as per the coat of arms for SA. All wording shall be inscribed in dark green painted sans serif lettering [12.2.18]

F:..... V:..... T:..... Item

A13.0 SETTING OUT

Clause 13.0

F:..... V:..... T:..... Item

A14.0 NOMINATED SUBCONTRACTORS

Clause 14.0

Ref Clause 6.7 [CD] - Clause 14.1.4

14.1.5 No Clause

Replace "principal agent " with "employer" [6.7 [CD]] in Clause 14.4.1

Ref Clause 6.7 [CD] - Clause 14.6

F:..... V:..... T:..... Item

A15.0 SELECTED SUBCONTRACTORS

Clause 15.0

Ref Clause 6.7 [CD] - Clause 15.1.4 & Clause 15.5

SECTION 1: PRELIMINARIES (SECTION A)

Each Item Carried to Collection

	15.1.5 No Clause			
	Replace Clause 15.1.2 with the following: The principal agent shall call for tenders from a list of tenderers agreed between the contractor and the employer			
	Replace "principal agent " with "employer" [6.7 [CD]] in Clause 15.4.1			
	F:..... V:..... T:.....	Item		
A16.0	DIRECT CONTRACTORS			
	Clause 16.0			
	F:..... V:..... T:.....	Item		
A17.0	CONTRACT INSTRUCTIONS			
	Clause 17.0			
	Replace Clause 17.4 with the following: The contractor shall comply with and duly execute all contract instructions except any contract instruction for additional work issued after the date of practical completion other than making good physical loss and repairing damage to the works in terms of 8.0 and 21			
	Add the following clause as Clause 17.6: Minutes of meetings shall not constitute a site instruction unless reduced to a written contract instruction issued by the principal agent in terms of this contract / agreement.			
	F:..... V:..... T:.....	Item		
	COMPLETION			
A18.0	INTERIM COMPLETION			
	Clause 18.0			
	F:..... V:..... T:.....	N/A	-	-
A19.0	PRACTICAL COMPLETION			
	Clause 19.0			
	Replace Clause 19.5 with the following: On issue of the only or last certificate of practical completion the employer shall be entitled to possession of the works and the site. On issue of the certificate of practical completion for a section, the employer shall be entitled to possession of such section			
	Add the following as Clause 19.8: WORKS COMPLETION			
	(1) Within seven (7) calendar days of the date of practical completion the principal agent shall issue to the contractor a works completion list defining the outstanding work and defects apparent at the date of practical completion to be completed or rectified to achieve works completion.			
	(2) Where, in the opinion of the contractor, the works completion list has been completed the contractor shall notify the principal agent who shall inspect within seven (7) calendar days of receipt of such a notice. Where, in the opinion of the principal agent, the Works Completion list:			
	(2)(a) Has been satisfactorily completed, the principal agent shall forthwith issue a			

SECTION 1: PRELIMINARIES (SECTION A)

Each Item Carried to Collection

certificate of Works Completion to the contractor with a copy to the employer

(2)(b) Has not been satisfactorily completed, the principal agent shall forthwith identify the works completion list items that are not yet complete and inform the contractor thereof. The contractor shall repeat the procedure in terms of 19.8(2)

(3) Should the principal agent not issue a works completion list, in terms of 19.8 (1) or 19.8 (2)(b), within seven (7) calendar days from the end of the inspection period, the contractor shall notify the employer and principal agent. Should the principal agent not issue such Works Completion list within seven (7) calendar days of receipt of such notice, the employer may within seven (7) calendar days issue to the contractor a Works Completion list. Should the employer:

(3)(a) Not issue such works completion list within seven (7) calendar days, then the certificate of Works Completion shall be deemed to have been issued on the date of expiry of the initial notice period and works completion shall be deemed to have been achieved on such date

(3b) Issue a works completion list and the work on Works Completion list not have been completed or where further defects have become apparent, the employer shall forthwith identify such items on the updated works completion list and notify the contractor. The contractor shall repeat the procedure in terms of 19.8(2)(b) until such items have been completed to the satisfaction of the employer

(4) Should the works completion list not be completed to the satisfaction of the employer within a period of twenty one (21) working days of the issue first works completion list the contractor shall be liable to a daily penalty as described in B12.0

(5) The defects liability period in terms of 21.1 shall commence with the issue or deemed issue of the certificate of Works Completion in terms of 19.8(2)(a) or 19.8(3).

F:..... V:..... T:..... Item

A20.0 **COMPLETION IN SECTIONS**

Clause 20.0

Add the following as Clause 20.2.1.A
A certificate of Works Completion [19.8]

F:..... V:..... T:..... Item

A21.0 **DEFECTS LIABILITY PERIOD AND FINAL COMPLETION**

Clause 21.0

Replace Clause 21.1 with the following:

The defects liability period for the works shall commence on the calendar day following the date of works completion and end at midnight (00:00) ninety (90) calendar days from the date of works completion [CD] or when work on the list for completion has been satisfactorily attended to [21.6], whichever is the later (if we use works completion)

Replace Clause 21.6 with the following:

On the expiry of the ninety (90) calendar days defects liability period [21.1] for items not indicated as items with an extended liability as indicated in B14 and on receipt of the contractor's notice to the principal agent

And/or

On the expiry of the defects liability period as indicated in B14, for items indicated in B14 and on receipt of the contractor's notice to the principal agent, the principal agent shall:

- (1) inspect the works And within ten (10) working days either issue a list for final completion detailing all outstanding work or defects that must be attended to, or rectified to achieve final completion or
- (2) issue the certificate of final completion to the contractor with a copy to the employer for that part of the works where defects liability period has expired

21.6.1 Omit Clause

21.6.2 Omit Clause

Add the following as Clause 21.13:

The ninety (90) calendar days defects liability period for the works [21.1] is replaced with an extended defects liability period of three hundred and sixty-five (365) calendar days in respect of the listed applicable elements in B14

Add the following as Clause 21.14:

Penalties will be applied if the items on the completion list have not been attended to within a period of ninety (90) calendar days [21.1]. If additional defect items have being added to the list during this period, then the Principal Agent and Contractor will agree on a revised completion date. Failing in achieving the revised date will result in penalties being applied.[B12.0]

F:..... V:..... T:..... Item

A22.0 LATENT DEFECTS LIABILITY PERIOD

Clause 22.0

22.3.2 No Clause

F:..... V:..... T:..... Item

A23.0 REVISION OF THE DATE FOR PRACTICAL COMPLETION

Clause 23.0

Ref Clause 6.7 [CD] – Clause 23.1

Ref Clause 6.7 [CD] – Clause 23.2

23.2.13 No Clause

Replace Clause 23.3 with the following:

Further circumstances that delays practical completion due to any other cause beyond the contractor's reasonable control that could not have reasonably been anticipated and provided for which the contractor may be entitled to a revision of the date for practical completion, with or without an adjustment of the contract value as determined by the Employer [6.7 CD]

Ref Clause 6.7 [CD] - Clause 23.7

Ref Clause 6.7 [CD] - Clause 23.8

F:..... V:..... T:..... Item

A24.0 PENALTY FOR LATE OR NON-COMPLETION

Clause 24.0

Replace Clause 24.1 with the following:

Where the contractor fails to bring the works, or a section thereof, to practical-, works-, or final-completion by the applicable completion date [CD], or the revised applicable completion date, the contractor shall be liable to the employer for the penalty [CD]

Replace Clause 24.2 with the following:

Where the employer elects to levy such penalty the employer, or the principal agent on instruction from the employer, shall give notice thereof to the contractor. The principal agent shall determine the penalty due from the later of the date for practical- works-, or final-completion [CD], or the revised date for practical- works-, or final- completion, up to and including the earlier of:

Replace Clause 24.2.1 with the following:

The actual or deemed date of practical- works-, or final- completion, of the works, or a section thereof [23.7.1]

F:..... V:..... T:.....

Item

PAYMENT

A25.0

PAYMENT

Clause 25.0

Replace Clause 25.2 with the following:

The principal agent shall issue at regular agreed intervals [CD] payment certificates, to the contractor with a copy to the employer, up to and including practical completion. Interim Payment certificates may be issued to the contractor between practical completion and the final payment certificate. A payment certificate may be for a nil or negative amount

Add the following to Clause 25.3:

25.3.12 Monthly Local content report,

25.3.13 EPWP / NYS payment register, labour reports and certified ID document of EPWP/ NYS beneficiaries, Contract between Contractor and EPWP/ NYS beneficiaries, attendance register. (if applicable)

25.3.14 Tax Invoice

25.3.15 Labour intensive report

25.3.16 Contract participation goal reports

25.5 No Clause

Replace Clause 25.6 with the following:

Materials and goods will only be certified and paid for upon providing proof of full payment to the supplier and proof of transfer of ownership from the supplier to the contractor by the contractor. Once paid, material and goods shall become the property of the employer and shall not be removed from site without the written authority of the Employer.

25.7.5 No clause.

Replace Clause 25.10 with the following:

The employer shall pay the contractor the amount stipulated in an issued payment certificate, correct in all material respects, within thirty (30) calendar days from the date of receiving the payment certificate, invoice and all other substantiating documentation for items certified in the payment certificate

Replace Clauses 25.12 to 25.12.3 with the following:

The value certified shall be subject to the following percentage adjustments :

(Clauses 25.12.1 to 25.12.5 shall be applicable to a contract sum up to R1 million. In the event of a contract sum more than R1 million for Options D & E (C 1.0 Securities [11.0]) Clauses 25.12.1 to 25.12.5 shall be applicable)

- 25.12.1 Where a security is selected in terms of C 1.0 Securities [11.0], the value of the works in terms of 25.1 and of the materials and goods in terms of 25.4 shall be certified in full. The value certified shall be subject to the following percentage adjustments:
 - 25.12.2 Ninety-five per cent (95%) of such value in interim payment certificates issued up to the date of practical completion
 - 25.12.3 Ninety-seven per cent (97%) of such value in interim payment certificates issued on the date of practical completion and up to but excluding the date of final completion
 - 25.12.4 Ninety-nine per cent (99%) of such value in interim payment certificates issued on the date of final completion and up to but excluding the final payment certificate in terms of 26
 - 25.12.5 One hundred per cent (100%) of such value in the final payment certificate in terms of 26 except where the amount certified is in favour of the employer. In such an event the payment reduction shall remain at the adjustment level applicable to the final payment certificate.
- (Clauses 25.12.6 to 25.12.10 shall be applicable to a contract sum more than R1 million for Option C (C 1.0 Securities [11.0])**
- 25.12.6 Where security is a payment reduction in term of C 1.0 Option C, value of the works in terms of 25.1 and materials and goods in terms of 25.4 shall be certified in full. The value certified shall be subject to the following percentage adjustments:
 - 25.12.7 Ninety per cent (90%) of such value in interim payment certificates issued up to the date of practical completion
 - 25.12.8 Ninety-seven per cent (97%) of such value in interim payment certificates issued on the date of practical completion and up to but excluding the date of final completion
 - 25.12.9 Ninety-nine per cent (99%) of such value in interim payment certificates issued on the date of final completion and up to but excluding the final payment certificate in terms of 26
 - 25.12.10 One hundred per cent (100%) of such value in the final payment certificate in terms of 26 except where the amount certified is in favour of the employer. In such an event the payment reduction shall remain at the adjustment level applicable to the final payment certificate

F:..... V:..... T:..... Item

A26.0 ADJUSTMENT OF THE CONTRACT VALUE AND FINAL ACCOUNT

Clause 26.0

Ref Clause 6.7 [CD] – Clause 26.1

Omit Clause 26.4.3

Ref Clause 6.7 [CD] – Clause 26.7

Replace Clause 26.10 with the following:

The principal agent shall prepare the final account in consultation with the employer and issue the final account, to the contractor within sixty (60) working days of the date of practical completion

Ref Clause 6.7 [CD] – Clause 26.12

F:..... V:..... T:.....

Item

A27.0 RECOVERY OF EXPENSE AND/OR LOSS

Clause 27.0

Replace Clause 27.1.2 with the following:
Interest due to late payment only

Replace Clause 27.1.4 with the following:
Interest due to late payment only

27.1.5 No Clause

Replace Clause 27.5 with the following:
Where the employer decides to recover an amount due in terms of 27.2 from a construction guarantee, cash deposit or retention money held as security, the employer shall issue a written demand to the contractor before recovering the amount. Should such amount not be paid to the employer within fourteen (14) calendar days of the date-of notice by the employer, the employer may recover such an amount from the security

Add the following as Clause 27.6:
Where a provisional sequestration or provisional liquidation order has been granted or where an order has been granted which commences sequestration, liquidation, bankruptcy, receivership, winding-up or any similar effect, against the contractor or this agreement is cancelled in terms of 29, the employer may issue a demand to the guarantor in terms of the construction guarantee or advance payment guarantee held as security

F:..... V:..... T:.....

Item

SUSPENSION AND TERMINATION

A28.0 SUSPENSION BY THE CONTRACTOR

Clause 28.0

- 28 No Clause
- 28.1 No Clause
- 28.1.1 No Clause
- 28.1.2 No Clause
- 28.1.3 No Clause
- 28.1.4 No Clause
- 28.1.5 No Clause
- 28.2 No Clause
- 28.3 No Clause
- 28.4 No Clause

F:..... V:..... T:.....

Item

A29.0 TERMINATION

Clause 29.0

Add the following as Clause 29.1.4:
The contractor's estate has been sequestrated, liquidated or surrendered in terms of the insolvency laws in force within the Republic of South Africa

Add the following as Clause 29.1.5:

The contractor has engaged in corrupt or fraudulent practices in competing for or in executing the contract

Add the following as Clause 29.1.6:

Honour his obligations in terms of Clauses 10.1.5.1.3, 11.4.1 and 12.2. sub Clauses 5, 6, 8, 9, 10, 11, 12, 13, 15, 16, 19, 20, 22.

Replace Clause 29.7 with the following:

The employer, on notice to the contractor, may recover damages from the contractor from the date of termination including, but not limited to, additional costs incurred in the completion, consultant cost, rental of alternative accommodation, invitation of completion tenders, salaries of officials and safeguarding the site, of the remaining work [25.3.7; 27.1.3]

Replace Clause 29.9 with the following:

The employer has the right of recovery against the contractor, where applicable, [CD] from:

The guarantee for construction (variable) until the final payment has been made;

or

The guarantee for construction (fixed) until the date of practical completion;

or

The payment reduction until the final payment is made;

or

The cash deposit made as security until the final payment is made

29.14.1 No Clause

29.14.3 No Clause

29.14.4 No Clause

29.14.5 No Clause

29.14.6 No Clause

29.14.7 No Clause

29.15 No Clause

29.16 No Clause

29.17.3 No Clause

29.17.6 No Clause

29.21.5 No Clause

29.22 No Clause

29.23 No Clause

29.25.3 No Clause

29.25.4 No Clause

SECTION 1: PRELIMINARIES (SECTION A)**Each Item Carried to Collection**

29.27 No Clause

F:..... V:..... T:.....

Item

DISPUTE RESOLUTION

A30.0

DISPUTE RESOLUTION

Clause 30.0

Replace Clause 30.2 with the following:

Where such disagreement is not resolved within ten (10) working days of receipt of such notice it shall be deemed to be a dispute and shall be submitted to Mediation as a first method of dispute resolution failing which the parties will resort to Litigation

30.3 to 30.7.7 No Clauses

Replace Clause 30.8 with the following:

The parties may, by agreement and at any time before Litigation, refer a dispute to mediation, in which event:

30.8.1 No Clause

Replace Clause 30.8.2 with the following:

The appointment of a mediator, the procedure, and the status of the outcome shall be agreed between the parties

Replace Clause 30.8.3 with the following:

Regardless of the outcome of a mediation the parties shall bear their own costs concerning the Mediation and equally share the costs of the mediator and related expenses

Replace Clause 30.9 with the following:

Institution of Litigation shall be commenced and process served within three (3) year from the date of existence of the dispute, failing which the dispute shall lapse

30.10 No Clause

30.12 No Clause

F:..... V:..... T:.....

Item

Item

R

c

SECTION 1: PRELIMINARIES (SECTION A)

Effective date: 20 July 2022

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SECTION B: GENERAL PRELIMINARIES

B1.0 DEFINITIONS AND INTERPRETATION

B1.1 Definitions

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Item

B1.2 Interpretation

F:..... V:..... T:.....

Item

B2.0 DOCUMENTS

B2.1 Checking of documents

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Item

B2.2 Provisional bills of quantities

F:..... V:..... T:.....

Item

B2.3 Availability of construction information

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Item

B2.4 Ordering of materials and goods

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Item

B3.0 PREVIOUS WORK AND ADJOINING PROPERTIES

B3.1 Previous work - dimensional accuracy

F:..... V:..... T:.....

Item

B3.2 Previous work - defects

F:..... V:..... T:.....

Item

B3.3 Inspection of adjoining properties

F:..... V:..... T:.....

Item

B4.0 THE SITE

B4.1 Handover of site in stages

F:..... V:..... T:.....

Item

B4.2 Enclosure of the works

F:..... V:..... T:.....

Item

B4.3 Geotechnical and other investigations

F:..... V:..... T:.....

Item

B4.4 Encroachments

F:..... V:..... T:.....

Item

SECTION 1: PRELIMINARIES (SECTION B)

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B4.5	Existing premises occupied F:..... V:..... T:.....	Item	
B4.6	Services - known F:..... V:..... T:.....	Item	
B5.0	MANAGEMENT OF CONTRACT		
B5.1	Management of the works F:..... V:..... T:.....	Item	
B5.2	Progress meetings F:..... V:..... T:.....	Item	
B5.3	Technical meetings F:..... V:..... T:.....	Item	
B6.0	SAMPLES, SHOP DRAWINGS AND MANUFACTURER'S INSTRUCTIONS		
B6.1	Samples of materials F:..... V:..... T:.....	Item	
B6.2	Workmanship samples F:..... V:..... T:.....	Item	
B6.3	Shop drawings F:..... V:..... T:.....	Item	
B6.4	Compliance with manufacturer's instructions F:..... V:..... T:.....	Item	
B7.0	DEPOSITS AND FEES		
B7.1	Deposits and fees F:..... V:..... T:.....	Item	
B8.0	TEMPORARY SERVICES		
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SECTION 1: PRELIMINARIES (SECTION B)

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B8.4	Communication facilities		
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B9.0	PRIME COST AMOUNTS		
B9.1	Responsibility for prime cost amounts		
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B10.0	ATTENDANCE ON SUBCONTRACTORS		
B10.1	General attendance		
	The contractor shall at his own expense provide the following general attendance on the subcontractors :		
	Access to the site and places where the subcontract work is to be carried out, including the reasonable use of any temporary personnel hoists erected by the contractor		
	The provision of water and lighting and single phase electric power to a position within 50 metres of the place where the subcontract work is to be carried out but excluding water, fuel and power for commissioning of any installation		
	The provision of an area for the subcontractor to establish temporary office accommodation and workshops and for the storage of plant and materials		
	The use of erected scaffolding belonging to the contractor , in common with others having the like right, while it remains erected on the site		
	The use, at reasonable times by arrangement of the contractor's erected hoisting equipment		
	F:..... V:..... T:.....	Item	
B10.2	Special attendance		
	F:..... V:..... T:.....	Item	
B11.0	GENERAL		
B11.1	Protection of the works		
	F:..... V:..... T:.....	Item	
B11.2	Protection/isolation of existing works and works occupied in sections		
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B11.3	Security of the works		
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B11.4	Notice before covering work		
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SECTION 1: PRELIMINARIES (SECTION B)

Each Item Carried to Collection

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B11.5	<p>Disturbance</p> <p>The contractor shall keep the site, structures, etc well watered during operations to prevent dust and shall provide and erect and remove on completion of the works all necessary temporary dust screens all to the satisfaction of the principal agent</p> <p>F:..... V:..... T:.....</p>		Item
B11.6	<p>Environmental disturbance</p> <p>F:..... V:..... T:.....</p>		Item
B11.7	<p>Works cleaning and clearing</p> <p>F:..... V:..... T:.....</p>		Item
B11.8	<p>Vermin</p> <p>F:..... V:..... T:.....</p>		Item
B11.9	<p>Overhand work</p> <p>F:..... V:..... T:.....</p>		Item
B11.10	<p>Tenant installations</p> <p>F:..... V:..... T:.....</p>		Item
B11.11	<p>Advertising</p> <p>F:..... V:..... T:.....</p>		Item

SECTION 1: PRELIMINARIES (SECTION B)

Each Item Carried to Collection

SECTION C: SPECIFIC PRELIMINARIES

Section C contains specific preliminary items which apply to this contract except where N/A (Not Applicable) appears against an item

C1.0 CONTRACT DRAWINGS

* Select relevant paragraph and delete whichever is not applicable depending on whether the contract is based on a **bills of quantities** or lump sum document

* The drawings issued with the tender documents do not comprise the complete set but serve as a guide only for tendering purposes and for indicating the scope of the work to enable the tenderer to acquaint himself with the nature and extent of the **works** and the manner in which they are to be executed

* A full set of drawings is issued with the tender documents indicating the full scope of the work to enable the tenderer to acquaint himself with the nature and extent of the **works** and the manner in which they are to be executed

Should any part of the drawings not be clearly understood by the tenderer he shall, before submitting his tender, obtain clarification in writing from the **principal agent**

F:..... V:..... T:..... Item

C2.0 PREAMBLES

The document "Construction Works: Specifications: General Specification (PW371-A) Edition 2.1" is obtainable on the Department's website (<http://www.publicworks.gov.za/> under "Consultants Guidelines"), and shall be read in conjunction with the **bills of quantities** / lump sum document and be referred to for the full descriptions of work to be done and materials to be used

The document "Construction Works: Specifications: Particular Specification (PW371-B) Edition 2.2" is issued together with the drawings and shall be read in conjunction with the drawings and the **bills of quantities** / lump sum document

F:..... V:..... T:..... Item

C3.0 TRADE NAMES

Wherever a trade name for any product has been described in the **bills of quantities** / lump sum document, the tenderer's attention is drawn to the fact that any other product of equal quality may be used subject to the written approval of the **principal agent** being obtained prior to the closing date for submission of tenders

If prior written approval for an alternative product is not obtained, the product described shall be deemed to have been tendered for

F:..... V:..... T:..... Item

C4.0 IMPORTED MATERIALS AND EQUIPMENT

Where imported items are listed in the tender documents, the tenderer shall provide all the information called for, failing which the price of any such item, materials or equipment shall be excluded from currency fluctuations. (refer to Schedule of Imported Materials and Equipment DPW-23(EC) to be completed by tenderer)

Notwithstanding any provisions elsewhere regarding the adjustment of contract prices, the

**SECTION 1: PRELIMINARIES (SECTION C)
Collection**

Each Item Carried to

price of any item, material or equipment listed in terms of this clause shall be excluded from the Contract Price Adjustment Provisions (if applicable)

F:..... V:..... T:..... Item

C5.0 VIEWING THE SITE IN SECURITY AREAS

The **site** is situated in a security area and the tenderer must arrange with the unit commander or other responsible officer to obtain permission to enter the **site** for tendering purposes

F:..... V:..... T:..... Item

C6.0 COMMENCEMENT OF WORKS IN SECURITY AREAS

As the **works** falls within a security area the **contractor** must give the unit commander or other responsible officer notice before commencement of the **works**. Should the **contractor** fail to make such arrangements, admission to the **site** may be refused and any additional costs will be for the **contractor's** account

F:..... V:..... T:..... Item

C7.0 ENTRANCE PERMITS TO SECURITY AREAS

As the **works** falls within a security area the **contractor** shall obtain entrance permits for his personnel and workmen entering the area and shall comply with all regulations and instructions which may be issued from time to time regarding the protection of persons and property under the control of the Defence Force, Police or chief security officer

F:..... V:..... T:..... Item

C8.0 SECURITY CHECK OF PERSONNEL

The **principal agent** may require the **contractor** to have his personnel and workmen, or a certain number of them, security classified

In the event of the **principal agent** requesting the removal of a person or persons from the **works** for security reasons, the **contractor** shall do so forthwith and shall thereafter ensure that such person or persons are denied access to the **works** and the **site** and/or to any document or information relating to the **works**

F:..... V:..... T:..... Item

C9.0 PROHIBITION ON TAKING OF PHOTOGRAPHS

In terms of article 119 of the Defence Act, 44 of 1957, it is prohibited to sketch or to take photographs of any military site or installation or any building or civil works thereon or to be in possession of a camera or other apparatus used for taking of photographs except when authorized thereto by or on behalf of the Minister

The same prohibition is also applicable to all correctional institutions in terms of article 44.1(e) of the Correctional Services Act 8 of 1959

F:..... V:..... T:..... Item

C10.0 HIV/AIDS AWARENESS

**SECTION 1: PRELIMINARIES (SECTION C)
Collection**

Each Item Carried to

It is required of the **contractor** to thoroughly study the HIV/AIDS Specification (PW 1544) of the Department that must be read together with and is deemed to be incorporated under this Section of the **bills of quantities** / lump sum document. Provision for pricing of HIV/AIDS awareness is made under items C10.1 to C10.5 hereafter and it is explicitly pointed out that all requirements of the aforementioned specification are deemed to be priced hereunder, as the said items represent the only method of measurement and no additional items or extras to the contract in this regard shall be entertained

The **contractor** must take note that compliance with the HIV/AIDS Specification is compulsory. In the event of partial or total non-compliance, the **principal agent**, notwithstanding the provisions of Clause A 25.0 of Section A or any other clause to the contrary, reserves the right to delay issuing any progress **payment certificate** until the **contractor** provides satisfactory proof of compliance. The **contractor** shall not be entitled to any compensation of whatsoever nature, including **interest**, due to such delay of payment

C10.1 **AWARENESS CHAMPION**

Selection, appointment, briefing and making available of an Awareness Champion including provision of all relevant services, all in accordance with the HIV/AIDS Specification

F:..... V:..... T:..... Item

C10.2 **AWARENESS WORKSHOPS**

Selection and appointment of a competent Service Provider approved by the **principal agent**, provision of a Service Provider Workshop Plan and a suitable venue, conducting of awareness workshops by means of traditional and/or modern multi-media techniques, including follow-up courses, making available all tuition material and performing assessment procedures, all in accordance with the HIV/AIDS Specification

F:..... V:..... T:..... Item

C10.3 **POSTERS, BOOKLETS, VIDEOS, ETC.**

Provision, displaying, maintaining and replacing when necessary of four plastic laminated posters, booklets and educational videos, etc. for the duration of the **construction period**, all in accordance with the HIV/AIDS Specification

F:..... V:..... T:..... Item

C10.4 **ACCESS TO CONDOMS**

Provision and maintenance of condom dispensers fixed in position, including male and female condoms, replenishing male and female condoms on a daily basis as required for the duration of the **construction period**, all in accordance with the HIV/AIDS Specification

F:..... V:..... T:..... Item

C10.5 **MONITORING**

Monitoring HIV/AIDS awareness of workers, providing the **principal agent** with access to information including making available all reports, thoroughly completed and reflecting the correct information, for the duration of the **construction period** and close out, all in accordance with the HIV/AIDS Specification

F:..... V:..... T:..... Item

**SECTION 1: PRELIMINARIES (SECTION C)
Collection**

Each Item Carried to

C11.0 OCCUPATIONAL HEALTH AND SAFETY ACT

The contractor shall comply with all the requirements as set out in the Construction Regulations, 2014 issued under the Occupational Health and Safety Act, 1993 (Act No 85 of 1993)

It is required of the contractor to thoroughly study the Health and Safety Specification that must be read together with and is deemed to be incorporated under this Section of the bills of quantities / lump sum document

The contractor must take note that compliance with the Occupational Health and Safety Act, Construction Regulations and Health and Safety Specification is compulsory. In the event of partial or total non-compliance, the principal agent, notwithstanding the provisions of Clause A25.0 of Section A or any other clause to the contrary, reserves the right to delay issuing any progress payment certificate until the contractor provides satisfactory proof of compliance. The contractor shall not be entitled to any compensation of whatsoever nature, including interest, due to such delay of payment

Provision for pricing of the Occupational Health and Safety Act, Construction Regulations and Health and Safety Specification is made under this clause and it is explicitly pointed out that all requirements of the aforementioned are deemed to be priced hereunder and no additional claims in this regard shall be entertained

F:..... V:..... T:..... Item

C12.0 EMPLOYMENT AND TRAINING OF YOUTH WORKERS ON THE EXPANDED PUBLIC WORKS PROGRAMME (EPWP) INFRASTRUCTURE PROJECTS: NATIONAL YOUTH SERVICE (NYS)

The contractor shall comply with all the requirements as set out in the "Additional Specification SL: Employment and Training of Youth Workers on the Expanded Public Works Programme (EPWP) Infrastructure Projects: National Youth Service (NYS)" as attached to these bills of quantities / lump sum document

The contractor shall identify a minimum number of youth workers from a priority list, and shall employ them at the statutory labour rates for a minimum period and train them, all as per the aforementioned specification and as elsewhere measured in these bills of quantities / lump sum document

The contractor shall liaise and co-ordinate with the employer and the EPWP Training Service Provider with regard to the priority list, the selection of youth workers, and the employment and training of the identified youth workers

The contractor shall avail the services of an adequately qualified foreman specifically for the EPWP-NYS youth workers, to act as their construction supervisor. The foreman will be responsible for continually monitoring the progress of the youth workers and for addressing questions and issues that may arise from the youth workers

Separate items which will be subject to remeasurement have been included elsewhere in these bills of quantities / lump sum document to cover the direct costs associated with the employment and training of the youth workers. Any additional requirements in respect of the aforementioned specification are deemed to be priced hereunder and no additional claims in this regard shall be entertained

F:..... V:..... T:..... Item

C13.0 IMPLEMENTATION OF LABOUR-INTENSIVE INFRASTRUCTURE PROJECTS UNDER THE EXPANDED PUBLIC WORKS PROGRAMME (EPWP)

SECTION 1: PRELIMINARIES (SECTION C) Collection

Each Item Carried to

The **contractor** shall comply with all the requirements of the "Code of Good Practice for Employment and Conditions of Work for Special Public Works Programmes" issued in terms of the "Basic Conditions of Employment Act, 1997 (Act No 75 of 1997)" and the related "Ministerial Determination", for the employment of locally employed temporary workers on a labour-intensive infrastructure project under the Expanded Public Works Programme (EPWP)

The **contractor** shall maintain daily records with regard to the workers employed and shall, on a monthly basis, submit a report to the **principal agent** in the prescribed format. Compulsory indicators such as the project budget, actual project expenditure, number of job opportunities created, demographic characteristics of workers employed, minimum daily wage rate, number of person-days of employment created and number of training person-days, shall be included in said report, all as defined in the "Guidelines for the Implementation of Labour-Intensive Infrastructure Projects under the Expanded Public Works Programme (EPWP)"

Provision for pricing of compliance with the aforementioned is made under this clause and it is explicitly pointed out that all requirements in respect of the aforementioned are deemed to be priced hereunder and no additional claims in this regard shall be entertained

F:..... V:..... T:.....

Item

**SECTION 1
PRELIMINARIES
COLLECTION**

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A18.0	Interim completion	4	N/A -
A19.0	Practical completion	4	
A20.0	Completion in sections	4	
A21.0	Defects liability period and final completion	4	
A22.0	Latent defects liability period	5	
A23.0	Revision of the date for practical completion	5	
A24.0	Penalty for late and non-completion	5	
Payment			
A25.0	Payment	5	
A26.0	Adjustment of the contract value and final account	5	
A27.0	Recovery of expense and/or loss	5	
		Carried forward R	

SECTION 1: PRELIMINARIES: COLLECTION
Effective date: 20 July 2022

Item		Brought forward R	R	c
	Suspension and termination			
A28.0	Suspension by the contractor	5		
A29.0	Termination	5		
	Dispute resolution			
A30.0	Dispute resolution	5		
	SECTION B: GENERAL PRELIMINARIES			
B1.0	Definitions and interpretation			
B1.1	Definitions	6		
B1.2	Interpretation	6		
B2.0	Documents			
B2.1	Checking of documents	6		
B2.2	Provisional bills of quantities	6		
B2.3	Availability of construction information	6		
B2.4	Ordering of materials and goods	6		
B3.0	Previous work and adjoining properties			
B3.1	Previous work - dimensional accuracy	6		
B3.2	Previous work - defects	6		
B3.3	Inspection of adjoining properties	6		
B4.0	The site			
B4.1	Handover of site in stages	6		
B4.2	Enclosure of the works	6		
B4.3	Geotechnical and other investigations	6		
B4.4	Encroachments	6		
B4.5	Existing premises occupied	7		
B4.6	Services - known	7		
B5.0	Management of contract			
B5.1	Management of the works	7		
B5.2	Progress meetings	7		
B5.3	Technical meetings	7		
B6.0	Samples, shop drawings and manufacturer's instructions			
B6.1	Samples of materials	7		
B6.2	Workmanship samples	7		
B6.3	Shop drawings	7		
B6.4	Compliance with manufacturer's instructions	7		

SECTION 1: PRELIMINARIES: COLLECTION

Effective date: 20 July 2022

Item	Carried forward R	R	c
	Brought forward R		
B7.0 Deposits and fees			
B7.1 Deposits and fees	7		
B8.0 Temporary services			
B8.1 Water	7		
B8.2 Electricity	7		
B8.3 Ablution and welfare facilities	7		
B8.4 Communication facilities	8		
B9.0 Prime cost amounts			
B9.1 Responsibility for prime cost amounts	8		
B10.0 Attendance on subcontractors			
B10.1 General attendance	8		
B10.2 Special attendance	8		
B11.0 General			
B11.1 Protection of the works	8		
B11.2 Protection/isolation of existing works and works occupied in sections	8		
B11.3 Security of the works	8		
B11.4 Notice before covering work	8		
B11.5 Disturbance	9		
B11.6 Environmental disturbance	9		
B11.7 Works cleaning and clearing	9		
B11.8 Vermin	9		
B11.9 Overhand work	9		
B11.10 Tenant installations	9		
B11.11 Advertising	9		
SECTION C: SPECIFIC PRELIMINARIES			
C1.0 Contract drawings	10		
C2.0 Preambles	10		
C3.0 Trade names	10		
C4.0 Imported materials and equipment	10		
C5.0 Viewing the site in security areas	11		
C6.0 Commencement of works in security areas	11		
C7.0 Entrance permits to security areas	11		
C8.0 Security check of personnel	11		
C9.0 Prohibition on taking of photographs	11		

SECTION 1: PRELIMINARIES: COLLECTION

Effective date: 20 July 2022

Item		R	c
	Carried forward R		
	Brought forward R		
C10.0	HIV/AIDS awareness		
C10.1	Awareness champion	12	
C10.2	Awareness workshops	12	
C10.3	Posters, booklets, videos, etc	12	
C10.4	Access to condoms	12	
C10.5	Monitoring	12	
C11.0	Occupational Health and Safety Act	13	
C12.0	Employment and Training of Youth Workers on the Expanded Public Works Programme (EPWP) Infrastructure Projects: National Youth Service (NYS)	13	
C13.0	Implementation of Labour-Intensive Infrastructure Projects under the Expanded Public Works Programme (EPWP)	13	
SECTION 1 PRELIMINARIES			
CARRIED TO FINAL SUMMARY		R	

SUBTOTALS:	R	c
Category: Fixed R		
Category: Value R		
Category: Time R		

BUILDING WORK/SPECIFICATION

Item No		Quantity	Rate	Amount
	<p><u>SECTION NO. 2</u></p> <p><u>BILL NO. 1</u></p> <p><u>ALTERATIONS</u></p> <p><u>OFFICE COMPLEX</u></p> <p><u>SUPPLEMENTARY PREAMBLES</u></p> <p><u>View Site</u></p> <p>Before submitting his tender the contractor shall visit the site and satisfy himself as to the nature and extent of the work to be done and the value of the materials contained in the buildings or portions of the buildings to be demolished. No claim for any variations of the contract sum in respect of the nature and extent of the work or of inferior or damaged materials will be entertained</p> <p><u>Explosives</u></p> <p>No explosives whatsoever may be used for demolition purposes unless otherwise stated</p>			
	Carried Forward		R	
	Section No. 2 Office Complex Bill No. 1 Alterations			

Brought Forward

R

General

The contractor shall carry out the whole of the works with as little mess and noise as possible and with a minimum of disturbance to adjoining premises and their tenants. He shall provide proper protection and provide, erect and remove when directed, any temporary tarpaulins that may be necessary during the progress of the works, all to the satisfaction of the principal agent

Water supply pipes and other piping that may be encountered and found necessary to disconnect or cut, shall be effectually stopped off or grubbed up and removed, and any new connections that may be necessary shall be made with proper fittings, to the satisfaction of the principal agent

With regard to building up of openings in existing walls, cement screeds and pavings, granolithic, tops of walls, etc, shall be levelled and prepared for raising of blockwork

Making good of finishes shall include making good of the brick and concrete surfaces onto which the new finishes are applied, where necessary

The contractor will be required to take all dimensions affecting the existing buildings on the site and he will be held solely responsible for the accuracy of all such dimensions where used in the manufacture of new items (doors, windows, fittings, etc)

REMOVAL OF EXISTING WORK

Relocation of existing barrier

Taking down and removing roofs, floors, panelling, ceilings, partitions, etc

- 1 Allow for the removal of existing public barrier to new position as specified by the principal agent

Item

Carried Forward

R

Section No. 2
Office Complex
Bill No. 1
Alterations

Brought Forward			R
2	Make good to exposed floor where public barrier was moved	m2	3
	<u>Re-surfacing of wooden floors:</u>		
	<u>Punch down nails to strip flooring where necessary. Cut if match exiting. Level off boards to match existing.</u>		
3	Wooden Floors	m2	255
	<u>Remove Existing Carpet</u>		
	<u>Fix 500mm x 500mm x6mm stick down, 100% nylon tufted level loop pile carpet tiles on existing wooden</u>		
4	Carpet Tiles	m2	47
	<u>Remove existing skirtings and angle moulds</u>		
	<u>Allow for removal of the existing skirtings and angle moulds where needed. New skirtings where needed to match existing, mitred at angles and securely fixed to plugs in walls, and at junctions of skirtings and floors, fix quadrant angle moulds, neatly mitred at angles, close fitted and securely fixed, to skirtings. Remove existing coating back to bare surface. All cracks, nail holes or other defects shall be stopped with approved tinted stopping to match the colour of the wood surface. All cracked and loose stopping shall be hacked out, similarly renewed and all stopped surfaces shall be sanded down to a smooth and even surface flush with the surrounding woodwork. Apply stain as specified in bill of quantities. Colour to architects specification and colour scheme.</u>		
5	Skirting	m	243
	<u>Re -fixing and replacing of vinyl tiles</u>		
Carried Forward			R
Section No. 2 Office Complex Bill No. 1 Alterations			

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

Brought Forward			R
	<u>Take up the damaged or loose floor tiles and repair screeding</u>		
6	Vinyl Tiles	m2	24
	<u>Repair existing Terrazzo tiles</u>		
7	To floors	m2	4
	<u>Repair existing concrete floor</u>		
	<u>Clean cracks out, wet thoroughly and fill in with semi-dry 3:1 cement mortar well caulked.</u>		
8	Concrete Floors	m2	32
	<u>Removal and replacement of damaged ceilings</u>		
9	Ceilings	m2	119
10	Cornices	m	126
	<u>Securely refix in position loose or sagging fibre cement ceiling panels, match board, cornices, cover strips and quadrants. Remove all the loose paint from ceilings to bare surface.</u>		
11	Fiber Cement Panels	m2	21
	<u>Repair existing concrete ceilings</u>		
	<u>Clean, Prepare for and paint the fronts and underside of slabs and exposed surfaces of beams</u>		
12	Concrete ceilings	m2	45
	<u>Repair defective plaster on walls</u>		
	Carried Forward		R
Section No. 2 Office Complex Bill No. 1 Alterations			

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

Brought Forward			R
	<u>Remove all loose and defective plaster on walls as required, rake out joints to form a key for new plaster, well wet the bare brickwork Strip off all flaked or otherwise defective paint film</u>		
13	Internal Walls	m2	216
14	External Walls	m2	86
	<u>Taking out glass</u>		
	<u>Take out and remove glass and mirrors:</u>		
15	Glass from steel windows with beads including cleaning out rebates and preparing for new glass	m2	18
16	Glass from timber windows with beads including cleaning out rebates and preparing for new glass	m2	6
17	Glass from timber wooden frame and louvres with beads including cleaning out rebates and preparing for new glass	m2	3
	<u>Making good to Furniture</u>		
	<u>Sand down to a smooth, even and thoroughly cleaned surface</u>		
18	Court Furniture		Item
19	Wall Cladding		Item
	<u>Making good to finishes, etc.</u>		
	<u>Sand down to a smooth, even and thoroughly cleaned surface, free from grease, dirt, loose or flaking paint including stopping all cracks and defects with an approved tinted stopping</u>		
20	Timber window frame and sash, size 1060x1870mm	No	3
21	Timber window frame and sash, size 1005 x 1720mm	No	2
	Carried Forward		R
	Section No. 2 Office Complex Bill No. 1 Alterations		

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

Brought Forward			R
22	Timber window frame and sash, size 1060 x 1870mm	No	2
23	Timber window frame and louvre, size 1255 x 2190mm	No	1
	<u>Adjust hinges, fittings and refix where loose with bolts, screws etc. to match existing including grinding and filling stiles and bottoms of sashes on steel windows and leave in free working down:</u>		
24	Steel window frame and sash. (Window 4 and window 5)	No	2
	<u>Take down, reset, trim, and refix sheet iron framing to match existing as specified on architect's window shedule</u>		
25	Steel window screen and frame. (Window No. 4 and Window No. 5)	No	2
	<u>Clean down and remove all rust, loose paint and sandpaper down to a bare surface including applying an approved primer coat over the bare surfaces, one undercoat and one coat high-gloss paint into all surfaces of steel windows including painting to architect's specification:</u>		
26	Steel window and frame, size 1500 x 2200mm	No	5
27	Steel window and frame, size 1022 x 1254mm	No	1
28	Steel window and frame, size 1005 x 1540mm	No	1
29	Steel window and frame, size 1000 x 1250mm	No	1
30	Steel window and frame, size 1000 x 1420mm	No	3
31	Steel window and frame, size 533 x 654mm	No	8
32	Steel window and frame, size 1511 x 654mm	No	1
Carried Forward			R
Section No. 2 Office Complex Bill No. 1 Alterations			

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

Brought Forward			R
	<u>Clean down and remove all rust, loose paint and sandpaper down to a bare surface including applying an approved primer coat over the bare surfaces, one undercoat and one coat high-gloss paint to all surfaces of burglar proofing:</u>		
33	Burglar proofing for timber window, size 1060x1870mm	No	3
34	Burglar proofing for timber window, size 1005 x 1720mm	No	2
35	Burglar proofing for timber window, size 1060 x 1870mm	No	2
36	Burglar proofing for timber window and louvre, size 1255 x 2190mm	No	1
37	Burglar proofing for steel window and screen (Window 4 and Window 5)	No	2
38	Burglar proofing for steel window, size 1500 x 2200mm.	No	5
39	Burglar proofing for steel window, size 1005 x 1540mm.	No	1
40	Burglar proofing for steel window, size 1022 x 1254mm.	No	1
41	Burglar proofing for steel window, size 1000 x 1250mm.	No	1
42	Burglar proofing for steel window, size 1000 x 1420mm.	No	3
43	Burglar proofing for steel window, size 533 x 654mm.	No	8
44	Burglar proofing for steel window, size 1511 x 654mm.	No	1
	<u>Make good roofs, floors, panelling, ceilings, partitions, etc</u>		
45	Allow for examination of existing corrugated iron roof for any leaks, including soldering to holes and repairing all leaks		Item
46	Carefully strip off existing paint, including the removal of rust on existing roof to completely bare galvanised steel	m2	537
47	Clean existing internal gutters	m	22
Carried Forward			R
Section No. 2 Office Complex Bill No. 1 Alterations			

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

Brought Forward		R
<u>Take out and remove sundry joinery work:</u>		
48	Window cills including cleaning down with approved detergent and paint one coat stoep paint or similar and equally approved paint:	31
	m	
<u>Preparatory work to existing surfaces</u>		
49	Make good to exposed wall surface where public barrier was moved	1
	m2	
Carried Forward to Summary of Section No. 2		R
Section No. 2		
Office Complex		
Bill No. 1		
Alterations		

Item No		Quantity	Rate	Amount
	<u>BILL NO. 2</u>			
	<u>CARPENTRY AND JOINERY</u>			
	The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities			
	<u>FITTINGS</u>			
	<u>General:</u>			
	The following cupboard fittings have been measured as complete units i.e. the components of the units have not been separately measured. The descriptions, therefore, of such units shall be deemed to include all components, assembling, housing, notching, gluing, blocking, planting on and screwing with countersunk screws, edge strips, decorative plastic finish, glass, ironmongery, metalwork, paint or varnish finishes, etc			
	The type references given in the descriptions are to the respective types of fittings detailed on the Architect's drawings numbered 1308-016 annexed to these Bills of Quantities/accompanying these Bills of Quantities for tender purposes			
	<u>Office cupboards, etc:</u>			
1	Table type with cupboard, size 750x750mm	No	1	
2	Table type with cupboard, size 1500x750mm	No	1	
3	Table type, size 1500x750mm	No	1	
4	Table type with lecturn, size 1500x750mm	No	2	
	<u>Staff tearoom cupboards</u>			
5	Bottom Cupboards 1800x750mm	No	1	
6	Wall hung Cupboards 1800x750mm	No	1	
	<u>Wooden Cladding on concrete bench</u>			
7	30mm thick hard wood 3750mm x 520mm	No	1	
	Carried Forward			R
	Section No. 2 Office Complex Bill No. 2 Carpentry and Joinery			

Brought Forward

R

Doors ETC

Double sided horizontal slatted solid meranti entrance type hinges

8 Door, 813x2032mm high No 1

Framed, ledged and braced meranti exterior door with flush

9 Door, 813x2032mm No 5

Semi-solid flush panel door (sapele veneer) with hardwood edges both sides

10 Door,813X2032mm high No 10

Carried Forward to Summary of Section No. 2

R

Section No. 2
Office Complex
Bill No. 2
Carpentry and Joinery

Item No		Quantity	Rate	Amount
	<u>BILL NO. 3</u>			
	<u>CEILINGS, PARTITIONS AND ACCESS FLOORING</u>			
	The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities			
	<u>PARTITIONS, ETC</u>			
	<u>"GypRoc Drywall" partition systems</u>			
1	Partitions 2100m high with bottom track plugged and top track fixed to suspended ceiling tees	m	3	
2	Extra over partition 2100m high for fair end	No	1	
	<u>NAILED UP CEILINGS</u>			
	<u>6.4mm gypsum ceilings fixed to 50x38mm SA Pine branderling at 450 c/c maximum. Pattern when visible: arrange boards symmetrically about room. at right angles to branderling, with cut boards along walls. Nail boards to timber branderling with 38 mm hot dip galvanized clout nails or 32 x 2.5 mm diameter hot dip galvanized serrated ceiling nails at 150 mm centres maximum.</u>			
3	Horizontal ceilings to timber trusses	m2	147	
	<u>SUSPENDED CEILINGS</u>			
	Carried Forward			R
	Section No. 2 Office Complex Bill No. 3 Ceilings, Partitions and Access Flooring			

Brought Forward

R

600x1200x12, 5mm thick gypsum vinyl clad (white) ceiling tiles. Tiles laid in t38 suspended tee grid system (white). Main tees at 1200mm centres with t38 (600) cross tees. Provide sm25 wall angles. The grid system suspended from timber trusses with 4mm rod suspension adjustment system. Hold down clips must be used to hold boards firmly in position

4

Ceilings suspended not exceeding 500mm below concrete soffits

m2

230

Carried Forward to Summary of Section No. 2

Section No. 2
Office Complex
Bill No. 3
Ceilings, Partitions and Access Flooring

R

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

Item No		Quantity	Rate	Amount
	<u>BILL NO. 4</u>			
	<u>IRONMONGERY</u>			
	The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities			
	<u>"EN-SUITE" LOCKS</u>			
1	Three lever mortice lockset	No	3	
2	Two lever mortice lockset	No	3	
	<u>BATHROOM FITTINGS</u>			
3	19mm Diameter chromium plated towel rail 1000mm long including end brackets plugged	No	5	
4	Chromium plated toilet roll holder plugged	No	4	
5	Cottage single soap dish	No	4	
	<u>SUNDRIES</u>			
6	Door stop plugged	No	6	
	Carried Forward to Summary of Section No. 2			
	Section No. 2 Office Complex Bill No. 4 Ironmongery			R

Item No		Quantity	Rate	Amount
	<u>BILL NO. 5</u>			
	<u>METALWORK</u>			
	The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities			
	<u>ALUMINIUM WINDOWS, DOORS, ETC.</u>			
	<u>ALUMINIUM DOORS</u>			
	<u>Natural anodised aluminium door with flush meeting stiles 1.5 pairs aluminium sinkless hinges to suit door. Provide as per building regulations all to manufacturers detail and</u>			
1	Aluminium door 950x2070mm high	No	2	
2	Aluminium door, 1150x2070mm high	No	1	
	<u>ALUMINIUM FRAMES</u>			
	<u>Natural anodised aluminium door (as per Architect specific into glazed sections as shown. 1.5 pairs aluminium sinkles pull handles and Safety glazing as per building regulations</u>			
3	Frame, size 1600mm x 2125mm	No	1	
4	Frame,size 1210mm x 2360mm	No	1	
5	Frame, size 1395 x 3000mm	No	1	
	<u>ALUMINIUM WINDOWS</u>			
	<u>Natural anodised aluminium door (as per Architect specifi into glazed sections as shown. 1.5 pairs aluminium sinkle pull handles and Safety glazing as per building regulation specification.</u>			
6	Window, 1795 x 1365mm	No	1	
	Carried Forward			R
	Section No. 2 Office Complex Bill No. 5 Metalwork			

Brought Forward

R

7	Install new public barrier as per drawing number 1308-010, including to aluminium doors with ironmongery complete.	No	1
<u>HEAVY DUTY PRESSED STEEL DOOR FRAMES</u>			
<u>1.2mm Double rebated "Durowin" or similar and equally approved frames suitable for one brick walls:</u>			
8	Frame for door 813 x 2032mm high	No	4
<u>1.2mm Double rebated "Durowin" or similar and equally approved frames suitable for half brick walls:</u>			
9	Frame for door 813 x 2032mm high	No	2

Carried Forward to Summary of Section No. 2

R

Section No. 2
Office Complex
Bill No. 5
Metalwork

Item No		Quantity	Rate	Amount
	<u>BILL NO. 6</u>			
	<u>PLUMBING AND DRAINAGE</u>			
	The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities			
	<u>RAINWATER DISPOSAL</u>			
	<u>Steel rainwater goods:</u>			
1	125x100mm Square round eaves gutter fixed to falls on and including brackets spaced at 1000mm centres and screwed to fibre-cement fascia	m	76	
	<u>Extra on steel gutters for the following fittings:</u>			
2	Stopped end	No	6	
3	Gutter union clip	No	6	
4	Outlet with nozzle piece for and joint to 100x75mm rainwater pipe	No	6	
5	100x75mm Pipe fixed to wall	m	28	
	<u>Extra on galvanised piping for the following fittings:</u>			
6	100x75mm Bend	No	6	
7	100x75mm Shoe	No	6	
8	100x75mm Swanneck 600mm projection	No	6	
	<u>SANITARY FITTINGS</u>			
	<u>Supply, fix, clean, wash and leave in a satisfactory condition the following items of medical sanitaryware:</u>			
	All rails, brackets, etc., where not bolted are to be fixed with long heavy gauge brass screws into approved expanding plugs			
	Carried Forward		R	
	Section No. 2 Office Complex Bill No. 6 Plumbing & Drainage			

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

	Brought Forward			R
9	'Citimetal' double centre bowl inset sink and drainer formed of AISI grade 304 stainless steel size overall 1800 x 457mm fitted to top of kitchen cabinet (elsewhere measured), the whole sound deadened on underside by the application of an approved sound deadening coating and the bowls fitted with built-in integral overflow outlet and grating.	No	1	
10	Vaal lavetera urinal (Product Code CLVURJUR-2CO0413 flush effectively on 6 litres.)	No	1	
Carried Forward to Summary of Section No. 2				R
Section No. 2 Office Complex Bill No. 6 Plumbing & Drainage				

Item No		Quantity	Rate	Amount
	<p><u>BILL NO. 7</u></p> <p><u>GLAZING</u></p> <p>The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities</p> <p><u>GLAZING TO STEEL WITH PUTTY</u></p> <p><u>4mm Clear float glass</u></p>			
1	Panes exceeding 0,1m2 and not exceeding 0,5m2 in existing	m2	1	
	Carried Forward to Summary of Section No. 2			R
	Section No. 2 Office Complex Bill No. 7 Glazing			

Item No		Quantity	Rate	Amount
	<u>BILL NO. 8</u>			
	<u>PAINTWORK</u>			
	The Tenderer is referred to the relevant Clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the back of these Bills of Quantities			
	<u>PAINT ON EXISTING SURFACES, ETC</u>			
	<u>Apply: two coats of galvanised iron primer and two coats roofgaurd paint (to be applied after 48 hours). :</u>			
1	Roofs	m2	537	
	<u>Apply: One coat Plaster Primer and two full coats Pure Acrylic PVA Paint as per the Architect specification. :</u>			
2	Plastered walls internally	m2	1 170	
	<u>Primer : One coat Primer. Topcoats : Two full coats external quality PVA paint.</u>			
3	Plastered externally	m2	370	
4	Fibre cement fascia and barge boards	m	350	
	<u>Apply: one coat bonding liquid or other approved first coating and two coats of paint. Colour to architects specification and colour scheme</u>			
5	Existing Ceilings	m2	119	
6	Cornices	m	126	
	<u>Apply two coats of emulsion paint , colour to architects specifications</u>			
7	Concrete ceilings	m2	20	
	<u>PAINT ON WOOD</u>			
	Carried Forward			R
	Section No. 2 Office Complex Bill No. 8 Paintwork			

Brought Forward

Apply three coats of penetrating wood treatment on all
woodwork. Thin the first coat 50% with Mineral
Turpentine to aid penetration on wood. Thin second coat
10% followed by the final coat un-thinned. Allow 48
hours (2 days) drying time between coats. Colour to
architects specification and colour scheme

8	Doors	m2	174
9	Frames	m2	83
10	On Skirting	m	249

PAINT ON METAL

Paint one primer coat and one undercoat and one coat
high gloss enamel paint to metalwork.

11	Strong room steel doors	m2	4
12	Burglars	m2	9
13	Window Burglars	m2	14
14	Eaves gutters	m2	8
15	Rainwater downpipes	m2	5

Carried Forward to Summary of Section No. 2

Section No. 2
Office Complex
Bill No. 8
Paintwork

R

R

Item No		Quantity	Rate	Amount
	<u>BILL NO. 9</u>			
	<u>EXTERNAL WORKS, ETC.</u>			
	<u>DEMOLITION AND REMOVAL</u>			
	<u>PAVINGS, ETC</u>			
	<u>Precast concrete finished smooth on exposed surfaces including bedding, jointing and pointing</u>			
	<u>80mm Coloured Double Zig Zag interlocking roadstone paving</u>			
1	Paving to parking areas etc to falls	m2	60	
2	Kerb (SABS 927 fig) 300 x 150mm high with 150 x 150 x 300mm unreinforced concrete haunching at back of each joint including excavation, backfilling, etc	m	150	
	<u>EXTERNAL BALUSTRATES</u>			
	<u>Galvanised steel balustrates</u>			
3	Clean the balustrades and paint as per Architect instruction	m2	58	
	<u>WATER SUPPLY, SEWER AND STORM WATER, ETC</u>			
4	Supply a 15 kl water storage tank, including pumping system and all accessories as per Engineers specifications	No	1	
5	Cut 400x400mm in to existing concrete to construct a new water line, 90mmØ (uPVC CLASS 9) sleeve and fill new trench with 20Mpa concrete	m	121	
6	50mmØ (uPVC CLASS 12) water line placed in sleeve in a new concrete encased trench	m	121	
7	Empty, clean and repair septic tank	No	1	
	Carried Forward			R
	Section No. 2 Office Complex Bill No. 9 External Works			

Brought Forward

R

CAST IRON MANHOLE COVERS

8

Man hole covers

No

6

Carried Forward to Summary of Section No. 2

Section No. 2
Office Complex
Bill No. 9
External Works

R

Bill No		Page No		Amount
	Section No. 2			
	Office Complex			
	<u>SECTION SUMMARY - Office Complex</u>			
1	Alterations	40		
2	Carpentry and Joinery	42		
3	Ceilings, Partitions and Access Flooring	44		
4	Ironmongery	45		
5	Metalwork	47		
6	Plumbing & Drainage	49		
7	Glazing	50		
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	Carried to Final Summary			R
	Section No. 2			
	Office Complex			

Item No		Quantity	Rate	Amount
	<u>SECTION NO. 3</u>			
	<u>BILL NO. 1</u>			
	<u>ALTERATIONS</u>			
	The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities			
	<u>DROSDY ALTERATIONS</u>			
	<u>REMOVAL OF EXISTING WORK</u>			
	<u>Taking down and removing roofs, floors, panelling, ceilings, partitions, etc</u>			
1	Gypsum plasterboard ceilings, including cornices, timber bandering, etc	m2	191	
2	Cornices	m	249	
	<u>Taking out and removing sundry joinery work, fittings, etc</u>			
3	Timber skirtings	m	249	
4	Fibre cement fascia and barge boards	m	133	
5	Allow for the removal of existing timber bedroom cupboards and all timber shelving		Item	
6	Allow for the removal of existing timber bathroom cupboards		Item	
	<u>Repair plaster to walls</u>			
7	Internal plaster from walls and columns	m2	746	
8	External plaster from walls and columns	m2	256	
	Carried Forward			R
	Section No. 3 Drosdy Bill No. 1 Alterations			

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

Brought Forward

R

Hacking up/off and removing ceramic tiles including removing mortar bed or adhesive from concrete or brickwork and preparing surfaces for new screed, plaster, tile finish, etc

9	Tiles to floors	m2	119
10	Tiles to walls	m2	125
11	Terrazo tiles to floors	m2	20

Taking out and removing piping, sanitary fittings, etc, including cutting off as necessary, disconnecting piping from fittings and making good floor and wall finishes (making good tiling and paintwork elsewhere)

12	Stainless steel sink and drainer including timber cupboard 6000 x 700 x 900mm high	No	1
13	Vitreous china wash hand basin	No	2
14	Vitreous china WC pan and cistern	No	2
15	Vitreous china soap dish	No	6
16	Vitreous china toilet roll holders	No	2
17	Stainless steel towel rails	No	3

Make good roofs, floors, panelling, ceilings, partitions, etc

18	Allow for examination of existing corrugated iron roof for any leaks, including soldering to holes and repairing all leaks		Item
19	Allow for the removal of existing paint coating on exposed external timber to bare surface.		Item
20	Carefully strip off existing paint, including the removal of rust on existing roof to completely bare galvanised steel	m2	227
21	Clean existing internal gutters	m	12

Carried Forward

R

Section No. 3
Drosdy
Bill No. 1
Alterations

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

Brought Forward			R
	<u>Remove existing paint to door frames coating back to bare surface</u>		
22	Wooden Door Frame 1730mm x 2475mm	No	1
23	Steel Door Frames	No	15
	<u>Clean Existing Galvanised Framework</u>		
24	Door No G1	No	1
25	Door No G2	No	1
26	Door No G3	No	1
	<u>Taking out/off and removing glass and mirrors</u>		
27	Glass from steel windows, including cleaning out rebates and preparing for new glass	m2	21
	<u>Ironmongery sundries</u>		
28	Remove broken or defective door frame hinges and striker plates	No	15
Carried Forward to Summary of Section No. 3			R
Section No. 3			
Drosdy			
Bill No. 1			
Alterations			

Item No		Quantity	Rate	Amount
	<p><u>BILL NO. 2</u></p> <p><u>CONCRETE, FORMWORK AND REINFORCEMENT</u></p> <p>The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities</p> <p><u>SUPPLEMENTARY PREAMBLES</u></p> <p><u>Cost of tests</u></p> <p>The costs of making, storing and testing of concrete test cubes as required under clause 7 "Tests" of SABS 1200 G shall include the cost of providing cube moulds necessary for the purpose, for testing costs and for submitting reports on the tests to the principal agent. The testing shall be undertaken by an independent firm or institution nominated by the contractor to the approval of the principal agent. (Test cubes are measured separately)</p>			
	<p style="text-align: right;">Carried Forward</p> <p>Section No. 3 Drosdy Bill No. 2 Concrete, Formwork & Reinforcement</p>		R	

Brought Forward

R

Formwork

Descriptions of formwork shall be deemed to include use and waste only (except where described as "left in" or "permanent"), for fitting together in the required forms, wedging, plumbing and fixing to true angles and surfaces as necessary to ensure easy release during stripping and for reconditioning as necessary before re-use

The vertical strutting shall be carried down to such construction as is sufficiently strong to afford the required support without damage and shall remain in position until the newly constructed work is able to support itself

Formwork to soffits of solid slabs etc shall be deemed to be to slabs not exceeding 250mm thick unless otherwise described

REINFORCED CONCRETE

Concrete 25 MPa/19mm stone in:

1	Thickenings	m3	3
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CONCRETE TESTING

2	Allow for making set of three concrete test cubes, sending to an approved testing authority for testing and paying all charges in connection therewith (Provisional)	No	10
---	--	----	----

FINISH TOP OF CONCRETE

Finish top of concrete smooth with a power float:

3	Thickenings	m2	3
---	-------------	----	---

MOVEMENT JOINTS, ETC.

Carried Forward

R

Section No. 3
Drosdy
Bill No. 2
Concrete, Formwork & Reinforcement

Brought Forward

R

Expansion joints with 10mm "Sondor Jointex" closed cell expanded polyethylene preformed joint filler and hinged blocking piece:

4 Joints not exceeding 300mm high or wide between concrete and brick or block walls m 1

REINFORCEMENT

Fabric reinforcement:

5 Type 193 fabric reinforcement in concrete surface beds, ramps, slabs, etc. m2 3

Carried Forward to Summary of Section No. 3

R

Section No. 3
Drosdy
Bill No. 2
Concrete, Formwork & Reinforcement

Item No		Quantity	Rate	Amount
	<u>BILL NO. 3</u>			
	<u>MASONRY</u>			
	The Tenderer is referred to the relevant Clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the back of these Bills of Quantities			
	<u>BRICKWORK IN SUPERSTRUCTURE</u>			
	<u>Blockwork in concrete blocks in Class I mortar:</u>			
1	230mm Thick walls in beam filling	m2	77	
	<u>BRICKWORK SUNDRIES</u>			
	<u>Blockwork reinforcement:</u>			
2	155mm Wide reinforcement built in horizontally	m	86	
	<u>PAVING</u>			
	<u>Paving of 600 x 600mm terrazzo tiles fixed in full accordance with manufacturers instruction:</u>			
3	On Floors and landings.	m2	27	
	Carried Forward to Summary of Section No. 3			
	Section No. 3			
	Drosdy			
	Bill No. 3			
	Masonry			
			R	

Item No		Quantity	Rate	Amount
	<p><u>BILL NO. 4</u></p> <p><u>WATERPROOFING</u></p> <p><u>DAMP PROOFING</u></p> <p>The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities</p> <p><u>One layer 250 micron "Gunplas USB Green" polyethylene waterproofing:</u></p>			
1	On compacted earth under concrete surface beds, lapped 150 mm and sealed at all joints (measured net).	m2	191	
	<p><u>JOINT SEALANTS, ETC</u></p> <p><u>"Pro-Struct 749" polysulphide joint sealant including backing cord, bond breaker, "Pro-Struct 626" epoxy primer, etc:</u></p>			
2	10 x 10mm In expansion joints including raking out expansion joint filler as necessary	m	64	
	Carried Forward to Summary of Section No. 3			R
	Section No. 3 Drosdy Bill No. 4 Waterproofing			

Item No		Quantity	Rate	Amount
	<u>BILL NO. 5</u>			
	<u>CARPENTRY AND JOINERY</u>			
	The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities			
	<u>FLUSH DOORS</u>			
	<u>Medium duty semi solid timber door hang to steel frame:</u>			
1	813x2032x44mm high	No	15	
	<u>EXTERIOR QUALITY FRAMED DOORS, ETC</u>			
	<u>Solid flush doors with 3,2mm standard horizontal solid meranti hardwood door:</u>			
2	40mm Framed solid meranti single door 813 x 2032mm high divided into eight panels and formed of 106mm stiles, top and middle rail and 220mm bottom rail (D10)	No	2	
	<u>EAVES, VERGES, ETC</u>			
	<u>Fibre cement</u>			
3	Fascia and barge boards	m	134	
	<u>CUPBOARDS TO KITCHENS, ETC</u>			
	<u>34mm thick Formica worktop (Natural Oak) softline profile 90, 16mm thick two face white melamine particle board carcass and doors, with edge strips on all sides of white particle board, solid oak "D" handles, cabx slide on hinges with mounting plates and heavy duty ball bearing drawer runners.</u>			
4	Size 450mm Drawer Unit - DU450	No	2	
5	Size 600mm Base Unit - BU600	No	3	
6	Size 900mm Base Unit - BU900	No	2	
7	Size 1800mm Drawer Unit - BU1800	No	1	
	Carried Forward			R
	Section No. 3 Drosdy Bill No. 5 Carpentry & Joinery			

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

Brought Forward

R

8	Size 900mm Corner Base Unit - CBU900	No	2
9	Size 600mm Comer Base Unit - CBU600	No	2
10	Size 600mm Broom Cupboard - BC600	No	1
11	Size 450mm Wall Unit - WU450	No	2
12	Size 600mm Wall Unit - WU600	No	1
13	Size 900mm Wall Unit - WU900	No	1
14	Size 760mm Wall Flip Top - WFT	No	2
15	Size 600mm Corner Wall Unit - CWU	No	1

Carried Forward to Summary of Section No. 3

Section No. 3
Drosdy
Bill No. 5
Carpentry & Joinery

R

Item No	Quantity	Rate	Amount
<u>BILL NO. 6</u>			
<u>CEILINGS, PARTITIONS AND ACCESS FLOORING</u>			
The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities			
<u>PARTITIONS, ETC</u>			
<u>NAILED-UP CEILINGS</u>			
<u>6.4mm Gypsum board ceilings fixed to 50x38 SSAP brandering 450 centres maximum</u>			
1	Ceilings	m2	130
<u>Standard gypsum cornices</u>			
2	Standard gypsum cornices	m	77
<u>4mm fibre-cement board ceilings fixed to 50x38 SSAP brandering 450 centres maximum</u>			
3	Ceilings	m2	34
4	Standard fibre-cement cornices	m	25
<u>Insulation</u>			
5	135 mm thick resin bonded glass fibre	m2	164
Carried Forward to Summary of Section No. 3			R
Section No. 3 Drosdy Bill No. 6 Ceilings, Partitions & Access Flooring			

Item No		Quantity	Rate	Amount
	<u>BILL NO. 7</u>			
	<u>IRONMONGERY</u>			
	The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities			
	<u>"EN-SUITE" LOCKS</u>			
1	Three lever mortice lockset	No	2	
2	Two lever mortice lockset	No	15	
	<u>PELMETS AND CURTAIN TRACKS</u>			
3	Anodised aluminium double curtain track including eleven single wheeled carriers per metre, brackets, stopped ends, bends, etc., with brackets plugged	m	29	
	<u>BATHROOM FITTINGS</u>			
4	19mm Diameter chromium plated towel rail 1000mm long including end brackets plugged	No	3	
5	Chromium plated toilet roll holder plugged	No	2	
6	Cottage single soap dish	No	6	
	<u>SUNDRIES</u>			
7	Door stop plugged	No	17	
	Carried Forward to Summary of Section No. 3			R
	Section No. 3			
	Drosdy			
	Bill No. 7			
	Ironmongery			

Item No		Quantity	Rate	Amount
	<p><u>BILL NO. 8</u></p> <p><u>METALWORK</u></p> <p>The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities</p> <p><u>HEAVY DUTY PRESSED STEEL DOOR FRAMES</u></p> <p><u>1.2mm Double rebated "Durowin" or similar and equally approved frames suitable for one brick walls:</u></p>			
1	<p>Frame for door 813 x 2032mm high</p> <p><u>1.2mm Double rebated "Durowin" or similar and equally approved frames suitable for half brick walls:</u></p>	No	1	
2	<p>Frame for door 813 x 2032mm high</p>	No	1	
	<p>Carried Forward to Summary of Section No. 3</p> <p>Section No. 3 Drosdy Bill No. 8 Metalwork</p>		R	

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

Item No		Quantity	Rate	Amount
	<u>BILL NO. 9</u>			
	<u>PLASTERING</u>			
	The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities			
	<u>SCREEDS</u>			
	<u>Screeds (1:3) as described on concrete:</u>			
1	25mm Thick on floors and landings	m2	15	
	<u>INTERNAL PLASTER</u>			
	<u>One coat cement plaster (1:5) as described in brickwork on:</u>			
2	Walls	m2	10	
3	Narrow widths	m2	10	
	<u>EXTERNAL PLASTER</u>			
	<u>One coat cement plaster (1:4) as described in brickwork on:</u>			
4	Walls	m2	7	
5	Narrow widths	m2	3	
	Carried Forward to Summary of Section No. 3			
	Section No. 3 Drosdy Bill No. 9 Plastering		R	

Item No		Quantity	Rate	Amount
	<u>BILL NO. 10</u>			
	<u>TILING</u>			
	The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities			
	<u>GLAZED CERAMIC WALL TILING</u>			
	<u>150mm x 150mm patterned ceramic tiles to wood floated plaster with aluminium trim to detail.</u>			
1	Walls	m2	125	
2	Narrow widths	m2	4	
	<u>FLOOR TILES</u>			
	<u>300 x 300mm Ceramic floor tiles fixed with adhesive in full accordance with manufacturers instruction:</u>			
3	On Floors and landings.	m2	119	
4	Narrow widths	m2	3	
	Carried Forward to Summary of Section No. 3			R
	Section No. 3 Drosdy Bill No. 10 Tiling			

Item No		Quantity	Rate	Amount
	<u>BILL NO. 11</u>			
	<u>PLUMBING AND DRAINAGE</u>			
	The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities			
	<u>RAINWATER DISPOSAL</u>			
	<u>Steel rainwater goods:</u>			
1	125x100mm Square round eaves gutter fixed to falls on and including brackets spaced at 1000mm centres and screwed to fibre-cement fascia	m	77	
	<u>Extra on steel gutters for the following fittings:</u>			
2	Stopped end	No	10	
3	Gutter union clip	No	13	
4	Outlet with nozzle piece for and joint to 100x75mm rainwater pipe	No	10	
5	100x75mm Pipe fixed to wall	m	35	
	<u>Extra on galvanised piping for the following fittings:</u>			
6	100x75mm Bend	No	10	
7	100x75mm Shoe	No	10	
8	100x75mm Swanneck 600mm projection	No	10	
	<u>SANITARY FITTINGS</u>			
	<u>Supply, fix, clean, wash and leave in a satisfactory condition the following items of medical sanitaryware:</u>			
	All rails, brackets, etc., where not bolted are to be fixed with long heavy gauge brass screws into approved expanding plugs			
9	"Consul" vanity basin (580 x 485mm) with single taphole	No	2	
	Carried Forward			R
	Section No. 3 Drosdy Bill No. 11 Plumbing & Drainage			

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

Brought Forward				R
10	'Citimetal' double centre bowl inset sink and drainer formed of AISI grade 304 stainless steel size overall 1800 x 457mm fitted to top of kitchen cabinet (elsewhere measured), the whole sound deadened on underside by the application of an approved sound deadening coating and the bowls fitted with built-in integral overflow outlet and grating.	No	1	
11	"Showerline silhouettes L - shaped glass including sliding door to both right and left size 900 x 900 x 1900mm high including frame and plugging to wall.	No	2	
12	"Ceramic (fibreglass) shower base size 900 x900mm wide plugged to floor and corner wall.	No	2	
13	Vaal Sanitaryware vitreous china "Daisy" semi-close coupled 90° outlet open rim wash-down pan (code 751400) and matching 9 litre cistern (code 7116SC) complete with lid, fittings and flush pipe elbow. The suite is designed to flush effectively on 6 litres.	No	1	
<p align="center">Carried Forward to Summary of Section No. 3</p> <p>Section No. 3 Drosdy Bill No. 11 Plumbing & Drainage</p>				R

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

Item No		Quantity	Rate	Amount
	<p><u>BILL NO. 12</u></p> <p>The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities</p> <p><u>GLAZING TO STEEL WITH PUTTY</u></p> <p><u>4mm Clear float glass</u></p>			
1	<p>Panes exceeding 0,1m2 and not exceeding 0,5m2 in existing</p>	m2	21	
	<p><u>MIRRORS</u></p>			
2	<p>6 mm Float glass multiple silvered mirror size 300 x 450 mm with polished and bevelled edges, holed and screwed with four chromium plated dome headed screws with rubber spacer washers behind, to and including hardwood plugs in wall.</p>	No	3	
	<p>Carried Forward to Summary of Section No. 3</p>			R
	<p>Section No. 3 Drosdy Bill No. 12 Glazing</p>			

Item No		Quantity	Rate	Amount
	<u>BILL NO. 13</u>			
	<u>PAINTWORK</u>			
	The Tenderer is referred to the relevant Clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the back of these Bills of Quantities			
	<u>PAINT ON EXISTING SURFACES, ETC</u>			
	<u>Apply: two coats of galvanised iron primer and two coats roof-guard paint (to be applied after 48 hours).</u>			
1	Roofs	m2	227	
	<u>Apply: One coat Plaster Primer and two full coats Pure Acrylic PVA Paint as per Architect specifications;</u>			
2	Plastered walls internally	m2	746	
	<u>Primer : One coat Primer. Topcoats : Two full coats external quality PVA paint as per the Architect specifications.</u>			
3	Plastered externally	m2	256	
4	Fibre cement fascia and barge boards	m	133	
5	Fibre-cement ceilings and cornices	m2	164	
	<u>PAINT ON WOOD</u>			
	<u>Apply three coats of penetrating wood treatment on all woodwork. Thin the first coat 50% with Mineral Turpentine to aid penetration on wood. Thin second coat 10% followed by the final coat un-thinned. Allow 48 hours (2 days) drying time between coats. Colour to architects specification and colour scheme</u>			
6	Doors	m2	27	
7	Frames	m2	9	
8	On Skirting	m	243	
	Carried Forward			R
	Section No. 3 Drosdy Bill No. 13 Paintwork			

Brought Forward

R

PAINT ON METAL

Paint one primer coat and one undercoat and one coat high gloss enamel paint as per architect specifications to metalwork.

9	Frames	m2	12
10	Windows and Burglar bars	m2	13
11	Eaves gutters	m2	12
12	Rainwater downpipes	m2	8

Carried Forward to Summary of Section No. 3

Section No. 3
Drosdy
Bill No. 13
Paintwork

R

Item No		Quantity	Rate	Amount
	<u>BILL NO. 14</u>			
	<u>EXTERNAL WORKS, ETC.</u>			
	The Tenderer is referred to the relevant clauses in the separate document Model Preambles for Trades and to the Supplementary Preambles which are incorporated at the front of these Bills of Quantities			
	<u>DEMOLITIONS AND REMOVAL</u>			
1	6130 X6130mm Concrete Dam with 2000mm high walls including filling hole	Item		
	<u>WATER SUPPLY, SEWER AND STORM WATER, ETC</u>			
2	Empty, clean and repair septic tank	No	1	
	<u>CAST IRON MANHOLE COVERS</u>			
3	Man hole covers	No	6	
	<u>GATES, ETC</u>			
4	Gate size 2900 x 1350 high, made of 16mm round bar to be welded onto 50x50x5mm angle iron as shown. Angle iron to be 100% level and should not sag at any given point. Angle iron to be anchored into 30mpa concrete as shown. Including all fixing details, complete	No	1	
5	Pedestrian gate size 1200 x 1350 high as per drawing number 1308-018, including all exactions concrete, etc	No	1	
	Carried Forward to Summary of Section No. 3			R
	Section No. 3 Drosdy Bill No. 14 External Works			

Item No		Quantity	Rate	Amount
	<p><u>BILL NO. 16</u></p> <p><u>PROVISIONAL SUMS</u></p> <p><u>PREAMBLES</u></p> <p>For preambles see " Specification of materials and methods to be used - PW 371"</p> <p><u>SUPPLEMENTARY PREAMBLES</u></p> <p><u>Cash discount</u></p> <p>No cash discount. All provisional sums are "NET"</p> <p><u>Profit</u></p> <p>Provisional sums are net and do not include builder's discount. The Contractor may allow next to "Profit" items for any profit he might consider necessary</p> <p><u>Attendance</u></p> <p>It will be expected from the Contractor to render all general attendance and, if specifically so described, special attendance services to each relevant Specialist, all in accordance with the Clauses set out in the "Preliminaries" section</p> <p>The item "Attendance" which follows each of the provisional sums for nominated and/or selected sub-contractors' work, shall be deemed to cover all the contractor's costs incurred in providing free of charge to the Nominated and/or Selected Sub-contractors, the following:</p> <ol style="list-style-type: none"> 1 The services as set out in the clauses in the "Preliminaries" section 2 Making good in all trades and cleaning down and removal of rubbish on completion <p>The Contractor may allow next to "Attendance" items for the recovery of such costs he might consider necessary</p>			
	Carried Forward		R	
	<p>Section No. 3 Drosdy Bill No. 15 Provisional Sums</p>			

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

	Brought Forward		R	
	Also refer to the Clauses in the "Preliminaries" section for the definitions and adjustment of "Attendance" and "Special Attendance" respectively			
	All provisional sums cover the supply and installation of material, equipment, plant, etc., including the commissioning thereof, where applicable			
1	Provide the amount of R50,000.00 (Fifty thousand rand) for repairs to cupboards	Item		50 000.00
2	Allow for profit	Item		
3	Allow for attendance	Item		
4	Provide the amount of R60,000.00 (Sixty thousand rand) for signage	Item		60 000.00
5	Allow for profit	Item		
6	Allow for attendance	Item		
7	Provide the amount of R40,000.00 (Forty thousand rand) for valves, etc.	Item		40 000.00
8	Allow for profit	Item		
9	Allow for attendance	Item		
	Carried Forward to Summary of Section No. 3		R	
	Section No. 3			
	Drosdy			
	Bill No. 15			
	Provisional Sums			

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

	Section No. 3			
	Drosdy			
	<u>SECTION SUMMARY - Drosdy</u>			
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	Carried to Final Summary			
	Section No. 3			
	Drosdy		R	

Item No		Quantity	Rate	Amount
	<u>SECTION NO. 4</u>			
	<u>Bill No. 1</u>			
	<u>SITE RETICULATION & GENERAL INSTALLATIONS</u>			
	<u>DISTRIBUTION BOARDS</u>			
	Supply and Installation of distribution boards as per attached drawing and specifications with labels, legends, danger warning signs, and green locks with master keys.			
1	DB-M (Flush mounted) in magistrates residence	No	1	
2	DB-G (Flush mounted) in magistrates residence	No	1	
	<u>LV DISTRIBUTION CABLES</u>			
	Supply and installation of 600/1000V PVC/SWA/PVC/PVC copper cables installed in ground, ducts, cable trays, and ceiling voids			
3	16mm ² x 4 core copper cable	m	82	
4	10mm ² bare copper earth wire (BCEW)	m	82	
	<u>CABLE TERMINATIONS</u>			
	Supply and installation of 600/1000V PVC/SWA/PVC/PVC copper cable terminations complete with lugs and earthings as required and specified			
	Carried Forward			R
	Section No. 4 Electrical Works Bill No. 1 Site Reticulation and General installations			

Brought Forward			R
5	16mm ² x 4 core copper cable	No	4
6	10mm ² bare copper earth wire (BCEW)	No	4
<u>DIESEL GENERATOR</u>			
	Supply, delivery, installation, testing and commissioning of a		
	42kVA standby diesel generator set, complete with an on board		
	diesel tank able to run generator set for 8 hours at full load, and		
	generator control panel. The generator engine must be from a		
	reputable supplier. The generator set shall be fitted with an		
7	electric pump to transfer fuel from the mobile refuel bulk tank		Item
8	Supply, delivery, installation, testing and commissioning of a 42kVA automatic change over switch inside generator canopy.	No	1
9	Supply and install a sound attenuated, weather proof, outdoor generator canopy to house the above mentioned generator.	No	1
	Supply and install a concrete plinth for the generator as per		
	manufactures recommendations on positions indicated on the		
10	drawings	No	1
11	Supply operating & maintenance manuals, test & commissioning results and as built drawings for the generator set.	No	3
12	Supply and Install full tank of diesel after commissioning		SUM
13	Supply maintenance and warranty for 12 months		SUM
Carried Forward			R
Section No. 4 Electrical Works Bill No. 1 Site Reticulation and General installations			

Brought Forward				R
<u>MANHOLES AND CABLE SLEEVES</u>				
<u>Supply and install cable sleeves and manholes as indicated on drawings</u>				
14	110mmØ KabelFlex HDPE sleeves.	m	10	
15	50mmØ KabelFlex HDPE sleeves.	m	1	
16	110mmØ KabelFlex HDPE slow bend	No	1	
17	50mmØ KabelFlex HDPE slow bend	No	1	
<u>TRENCHING AND BACK FILLING</u>				
<u>All prices below includes the excavation of trenches and holes, separating of stones and soil, rocks etc, levelling of trench beds, refill compacting and reparation of all surfaces to the original finish (600mm deep x 300mm wide)</u>				
18	Excavating in Earth	m3	5	
19	Excavating in Soft Rock	m3	1	
20	Excavating in Hard Rock	m3	1	
<u>CABLE MARKERS AND DANGER WARNING TAPE</u>				
<u>Supply and installation of cable markers and danger warning tape as specified</u>				
21	Low voltage concrete cable route markers	No	1	
22	Low voltage danger warning tape	m	10	
<u>ALTERATIONS TO EXISTING DBs</u>				
<u>Supply and install the following switch gear and equipment in existing DBs</u>				
23	10A Single Pole Circuit Breaker (5kA)	No	6	
24	20A Single Pole Circuit Breaker (5kA)	No	10	
Carried Forward				R
Section No. 4 Electrical Works Bill No. 1 Site Reticulation and General installations				

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

Brought Forward			R
25	6A Single Pole Circuit Breaker (5kA)	No	1
26	63A Earth leakage (L+N) (5kA)	No	2
27	63A Single Pole Circuit Breaker (5kA)	No	1
28	DB Blank Covers		SUM
29	DB Danger Warning Signs	No	2
30	Surge Protection Device (3P+N)	No	2
<u>TESTING AND COMISSIONING</u>			
<u>Testing and commissioning of the entire low voltage network</u>			
31	Area lighting including the provision of all test equipment required and issuing of a certificate of compliance for the installation.	No	2
32	Provide as built drawings for the whole electrical installation	No	3
Carried Forward to Summary of Section No. 4			R
Section No. 4			
Electrical Works			
Bill No. 1			
Site Reticulation and General installations			

Item No		Quantity	Rate	Amount
	<u>SECTION NO. 4</u>			
	<u>Bill No. 2</u>			
	<u>LIGHTNING AND POWER INSTALLATIONS</u>			
	<u>CONDUITS AND ACCESSORIES</u>			
	Supply and install new PVC conduit chased in walls, installed into ceiling voids, cast into concrete as specified complete with accessories.			
1	20mm diameter PVC conduits complete with accessories	m	350	
2	25mm diameter PVC conduits complete with accessories	m	750	
	<u>CONDUCTORS</u>			
	Supply and installation of the following PVC insulated conductors with colours as specified, into trunking and conduit including terminations on both ends, to specification			
3	2,5mm ²	m	700	
4	4mm ²	m	1 500	
5	2,5mm ² bare copper earth wire	m	2 200	
	<u>LIGHT SWITCHES</u>			
	Supply and install the following flush mounted light switches complete with wall boxes as specified and indicated on drawings			
	Carried Forward			R
	Section No. 4 Electrical Works Bill No. 2 Lightning & Power Installation: Office Complex			

Brought Forward				R
6	1 Lever, 1 Way Light Switch	No	4	
7	1 Lever, 2 Way Light Switch	No	1	
8	Photocell, 10A, 240V.	No	4	
9	Dual technology occupancy sensor, 10A, 240V, 50Hz.	No	26	
<u>POWER SKIRTING</u>				
Supply and install the following wire ways complete with mounting accessories, tees, bends, end caps etc				
2 cover, three compartment, galvanised steel, powder coated power skirting with mounting accessories, end caps, elbows, etc. Color: White				
<u>SOCKET OUTLETS AND ISOLATORS</u>				
Supply and install the following socket outlets and isolators				
as specified and as indicated on drawings.				
10	Combination switched socket with 1 normal 16A outlet + 1 Euro 3 pin socket outlets	No	3	
11	Double, normal, switched socket outlet wall mounted	No	4	
12	Dedicated 16A red single switched socket outlet mounted on power skirting	No	21	
13	60A double pole isolator in wether proof box	No	1	
14	Normal 16A,white single switched socket outlet mounted on power skirting	No	21	
15	3 Pin Euro mounted on power skirting	No	46	
<u>DATA AND TELEPHONE</u>				
Supply and installtion of data and telephone points on power skirting or wall mounted as specified and as indicated on				
Carried Forward				R
Section No. 4 Electrical Works Bill No. 2 Lightning & Power Installation: Office Complex				

Brought Forward			R
	drawings		
16	RJ45 Data points	No	21
17	RJ45 Telephone points	No	17
<u>LIGHTING INSTALLATION</u>			
Supply and installation of the following light fittings, complete			
with lamps and electronic control gear, mounting accessories			
as specified and as indicated on attached drawings.			
18	70W LED panel recessed light fitting -TYPE A	No	38
19	18W LED decorative down light fitting - TYPE B	No	18
20	17W LED decorative, round bulkhead light fitting- TYPE C	No	8
21	10W LED decorative down light fitting - TYPE D	No	6
22	36W LED batten light fitting - TYPE E	No	7
23	9W LED light fitting with red diffuser wall mounted- TYPE R	No	2
24	100W LED highbay light fitting with aluminum dome c/w suspending chain -TYPE HB	No	6
25	50W LED wall mounted flood light, IP65 -Type W	No	15
26	56W LED vandal resistant light fitting -Type V (to replace existing lights in cells)	No	4
27	70W LED panel surface mounted light fitting -TYPE AS	No	7
Carried Forward to Summary of Section No. 4			R
Section No. 4			
Electrical Works			
Bill No. 2			
Lightning & Power Installation: Office Complex			

Item No		Quantity	Rate	Amount
	<u>SECTION NO. 4</u>			
	<u>Bill No 3</u>			
	<u>LIGHTNING AND POWER INSTALLATIONS</u>			
	<u>CONDUITS AND ACCESSORIES</u>			
	Supply and install new PVC conduit chased in walls, installed into ceiling voids, cast into concrete as specified complete with accessories.			
1	20mm diameter PVC conduits complete with accessories	m	350	
2	25mm diameter PVC conduits complete with accessories	m	750	
	<u>CONDUCTORS</u>			
	Supply and installation of the following PVC insulated conductors with colours as specified, into trunking and conduit including terminations on both ends, to specification			
3	2,5mm ²	m	300	
4	4mm ²	m	250	
5	2,5mm ² bare copper earth wire	m	550	
6	10mm ²	m	50	
7	6mm ² bare copper earth wire	m	25	
	<u>LIGHT SWITCHES</u>			
	Supply and install the following flush mounted light switches complete with wall boxes as specified and indicated on			
	Carried Forward			R
	Section No. 4 Electrical Works Bill No. 3 Lightning & Power Installation: Drosdy			

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

Brought Forward				R
	drawings			
8	1 Lever, 1 Way Light Switch	No	15	
9	1 Lever, 2 Way Light Switch	No	2	
10	Photocell, 10A, 240V.	No	2	
11	Dual technology occupancy sensor, 10A, 240V, 50Hz.	No	1	
<u>POWER SKIRTING</u>				
Supply and install the following wire ways complete with mounting accessories, tees, bends, end caps etc 2 cover, three compartment, galvanised steel, powder coated power skirting with mounting accessories, end caps, elbows, etc. Color: White				
<u>SOCKET OUTLETS AND ISOLATORS</u>				
Supply and install the following socket outlets and isolators as specified and as indicated on drawings.				
as specified and as indicated on drawings.				
12	Combination switched socket with 1 normal 16A <u>outlet + 1 Euro 3 pin socket outlets</u>	No	19	
13	Double, normal, switched socket outlet wall mounted	No	5	
14	Dedicated 16A red single switched socket outlet mounted on power skirting	No	1	Rate Only
15	60A double pole isolator in wether proof box	No	1	
16	Normal 16A,white single switched socket outlet mounted on <u>power skirting</u>	No	1	Rate Only
17	3 Pin Euro mounted on power skirting	No	1	Rate Only
Carried Forward				R
Section No. 4 Electrical Works Bill No. 3 Lightning & Power Installation: Drosdy				

Brought Forward

R

DATA AND TELEPHONE

Supply and installation of data and telephone points on power skirting or wall mounted as specified and as indicated on drawings

18	RJ45 Data points	No	1	Rate Only
19	RJ45 Telephone points	No	1	Rate Only

LIGHTING INSTALLATION

Supply and installation of the following light fittings, complete with lamps and electronic control gear, mounting accessories as specified and as indicated on attached drawings.

20	1x E27 decorative bulkhead light fitting with 13W LED Lamp- <u>TYPE F</u>	No	8	
21	Decorative ceiling light fitting, 2xE27- TYPE G complete with 2x15W LED lamps	No	9	
22	Decorative bathroom light fitting, 1xE27- TYPE H complete with 1x9W LED lamps	No	5	

Carried Forward to Summary of Section No. 4

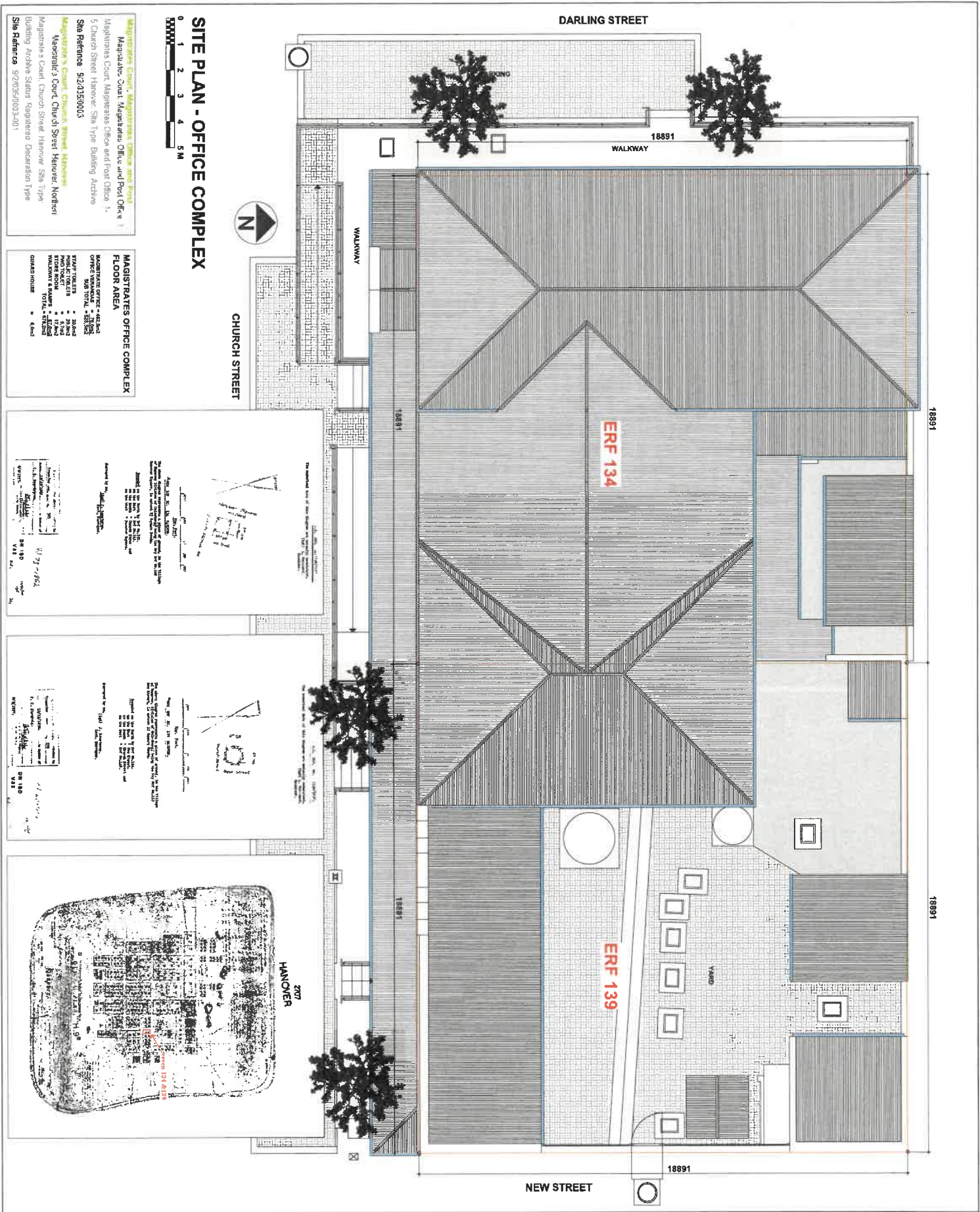
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Section No. 4
Electrical Works
Bill No. 3
Lighting & Power Installation: Drosdy

**Hanover Magistrate's Office Heritage
Repairs and Renovations**

Section No	<u>FINAL SUMMARY</u>	Page No	Amount
1	Preliminaries	32	
2	Office Complex	55	
3	Drosdy	79	
4	Electrical Works	90	
	Sub Total		R
	Add 15% value added tax to be remitted to South African Revenue Services		R
	Total		R
	Carried to Form of Tender		R

DRAWINGS

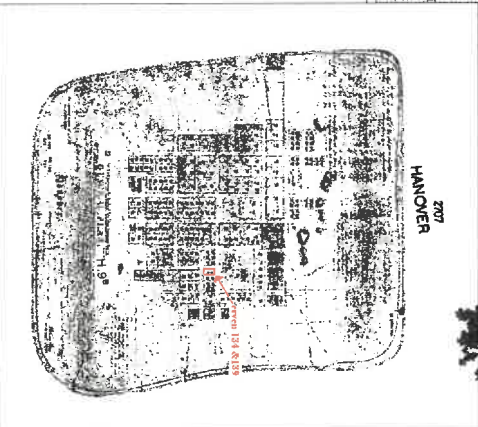
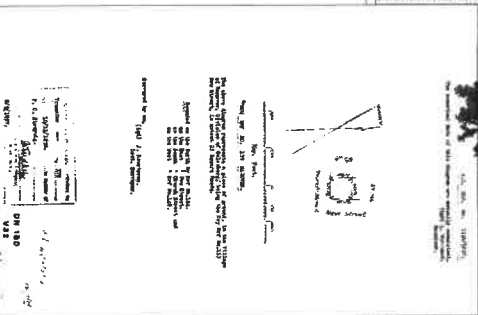
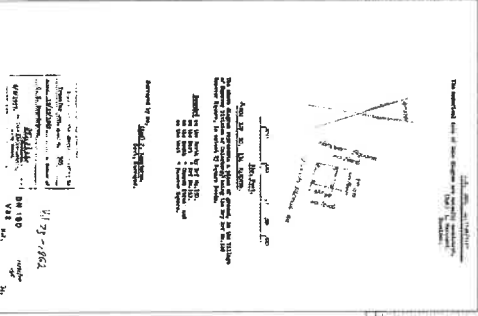


SITE PLAN - OFFICE COMPLEX



MAGISTRATES OFFICE COMPLEX
 Magistrate Court, Magistrate Office and Post Office
 Magistrate Court, Magistrate Office and Post Office -
 5 Church Street Hanover, Site Type Building Archive
 Site Reference 9231510003
 Magistrate's Court, Church Street Hanover, Northern
 Magistrate's Court, Church Street Hanover, Site Type
 Building Archive Status Registered Description Type
 Site Reference 9230350003-0101

MAGISTRATES OFFICE COMPLEX
 FLOOR AREA
 MAGISTRATES OFFICE - 25000
 OFFICE ANNEX - 25000
 SUB TOTAL - 50000
 STAFF TOILETS - 2000
 STAFF PARKING - 2000
 STAFF WALKWAY - 2000
 TOTAL - 56000
 QUADRANT - 4 km²



NO.	DATE	REVISION	D.S.W.

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public works
& infrastructure

Department of Public Works
 REPUBLIC OF SOUTH AFRICA
 DIRECTOR GENERAL
 ADV. SAN VIKELA

contact: 021 461 2000

Address: 100 Oranje Street, Cape Town, 8001
 Registration No. 19635/2015/0623

Studio
 ARCHITECTURE

Services

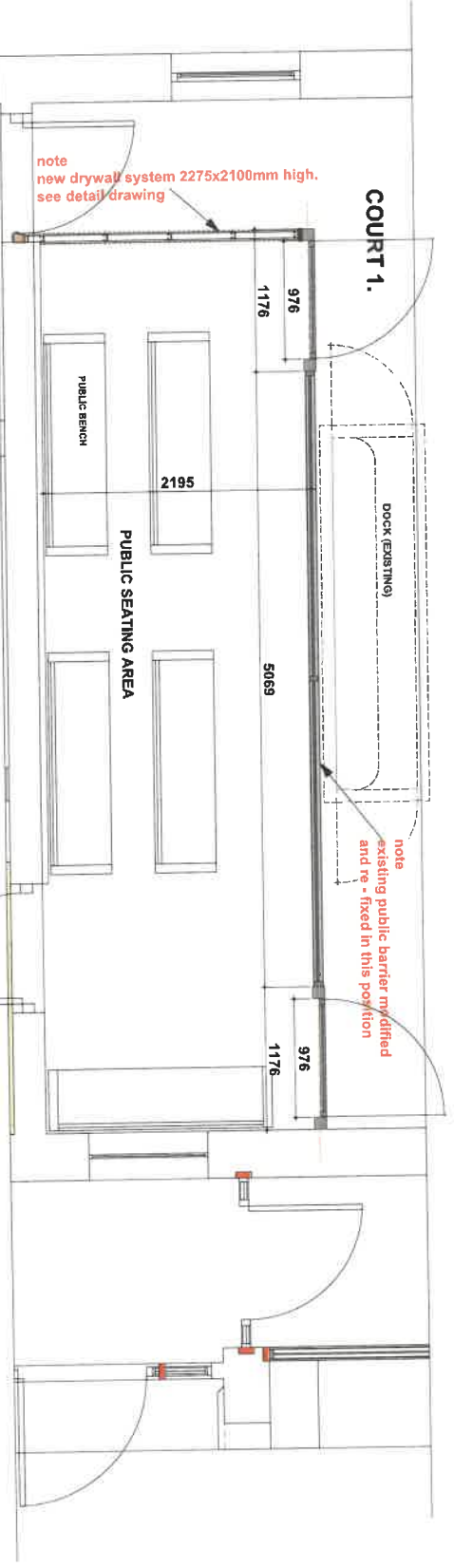
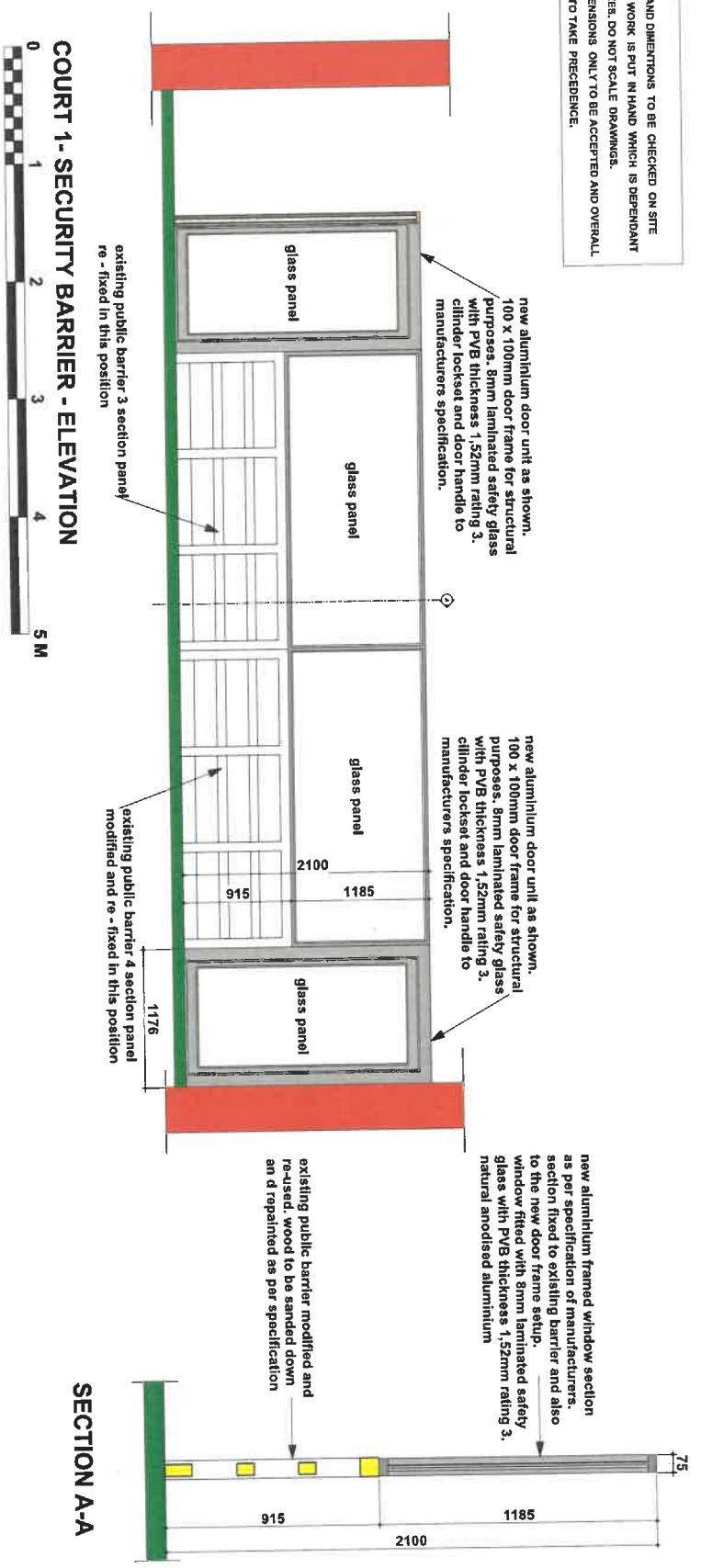
**HANOVER
 MAGISTRATE'S
 OFFICE**

VCS number: 0555335

drawing title
**SITE PLAN
 OFFICE COMPLEX**

scale: 1:100
 date: JANU 2011
 client: A. MCGREGOR
 drawing number: 1309-001

NOTE:
 ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE BEFORE ANY WORK IS PUT IN HAND WHICH IS DEPENDANT ON THESE SIZES. DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS ONLY TO BE ACCEPTED AND OVERALL DIMENSIONS TO TAKE PRECEDENCE.



COURT 1 - SECURITY BARRIER - PLAN

SECTION A-A

NO.	DATE	AMENDMENT	D.P.M.

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cat file name
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public works
 Department of Infrastructure
 REPUBLIC OF SOUTH AFRICA
 DR. VAN VLIETEN

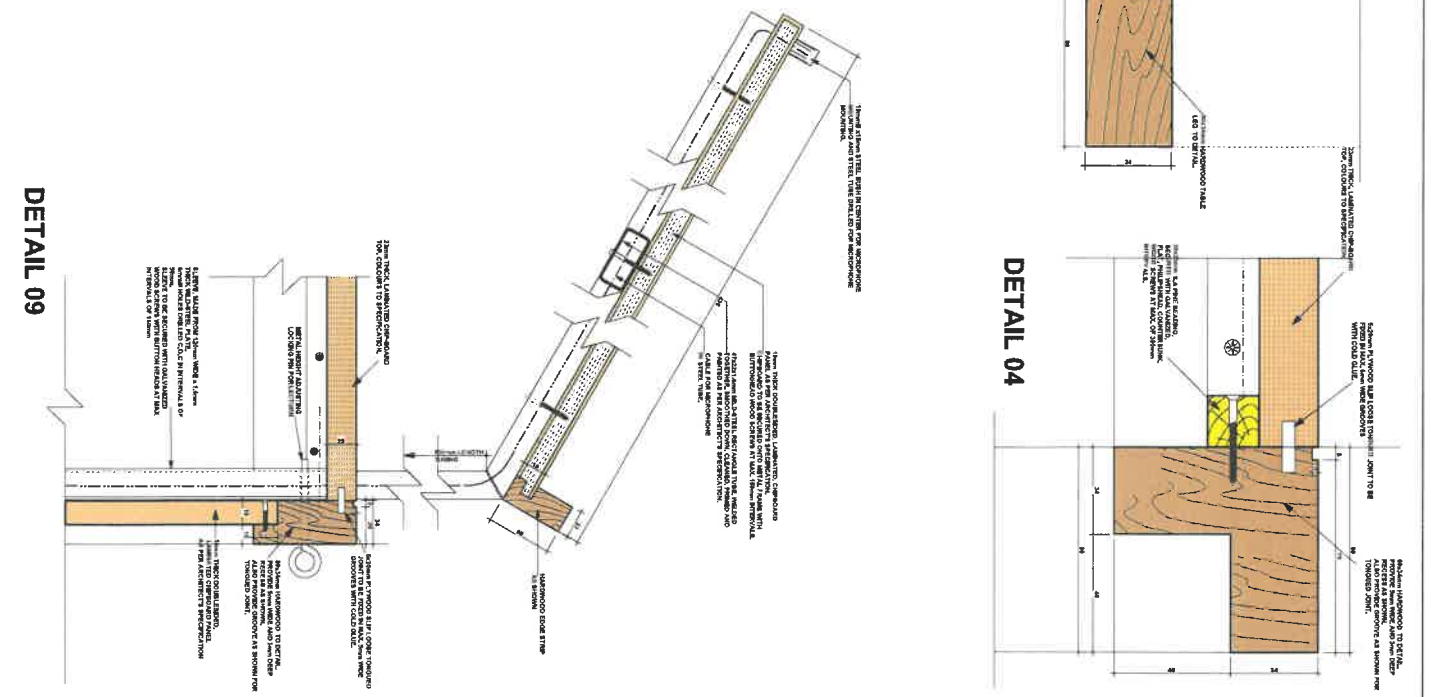
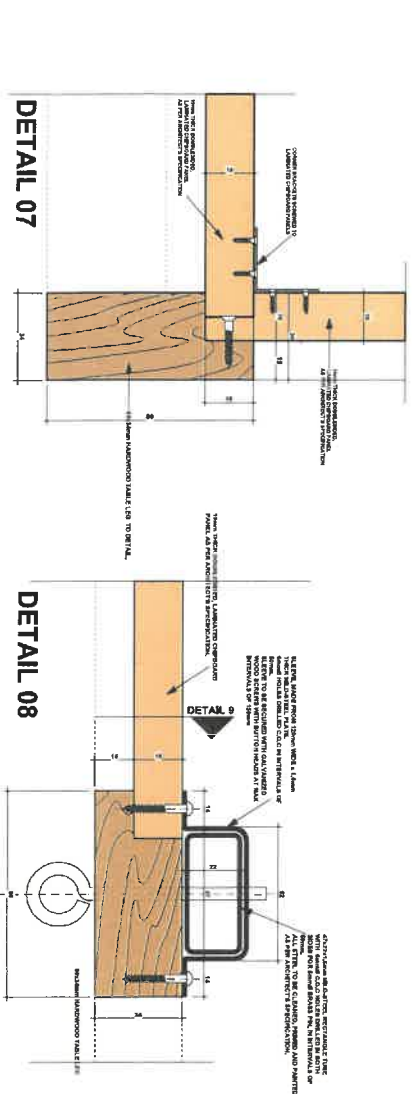
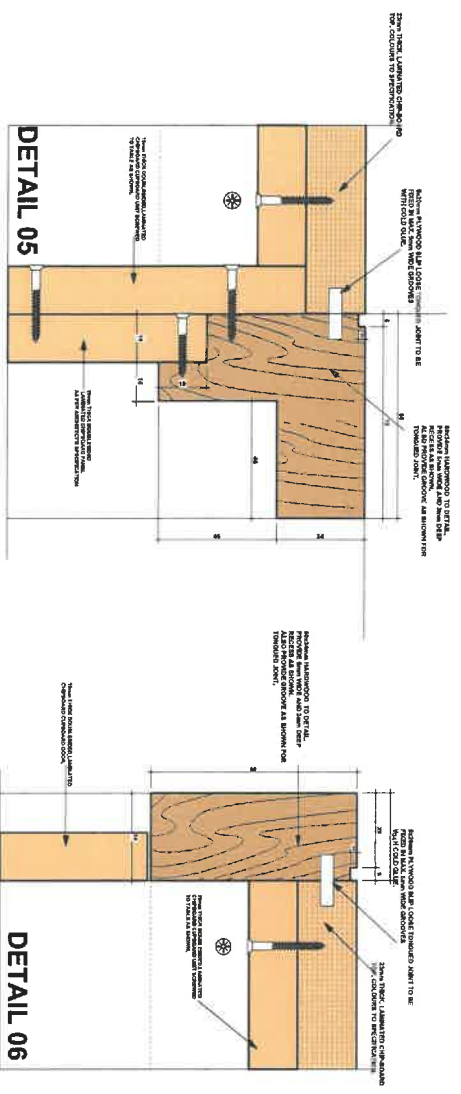
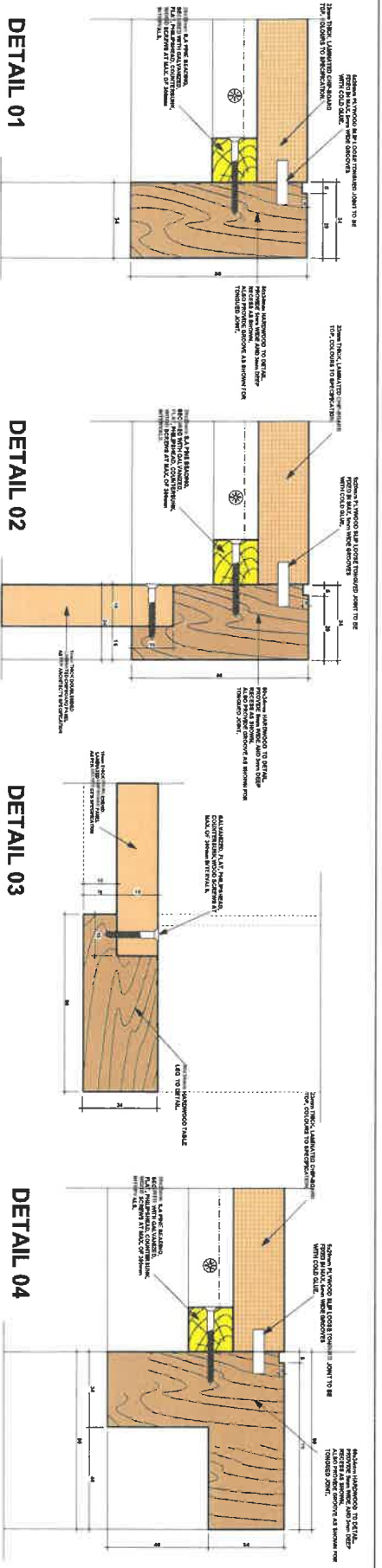
control and development
 COURT 1 PUBLIC SECURITY BARRIER
 ARCHITECTURE
 HANOVER MAGISTRATE'S OFFICE

designer
 A. MCCORMACK
 draughtsman
 A. MCCORMACK

client
 HANOVER MAGISTRATE'S OFFICE

date
 JAN 2012

drawing number
 1308-010



NO.	DATE	AMENDMENT	D.P.M.

Approved by:
 Director of Public Works

Contract Name: **public works & infrastructure**
 Contract No: **PAW/2017/001**
 Contract Value: **RM 100,000,000.00**
 Contract Type: **Design & Construct**
 Contract Address: **AWP, SINGAPORE**

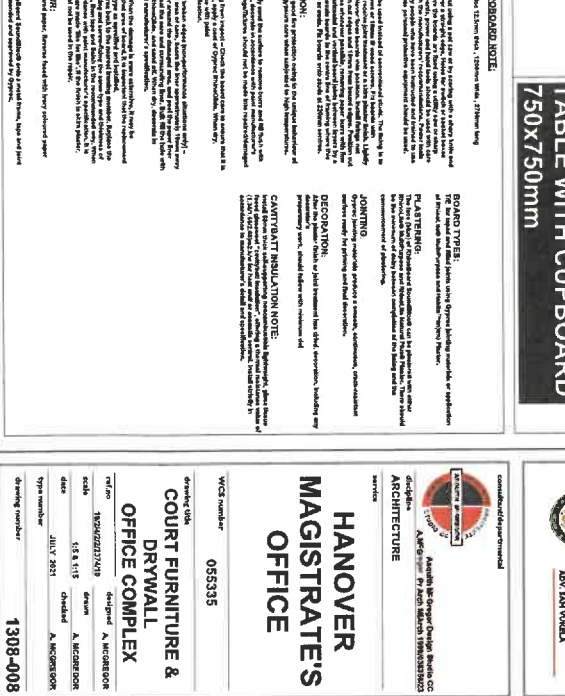
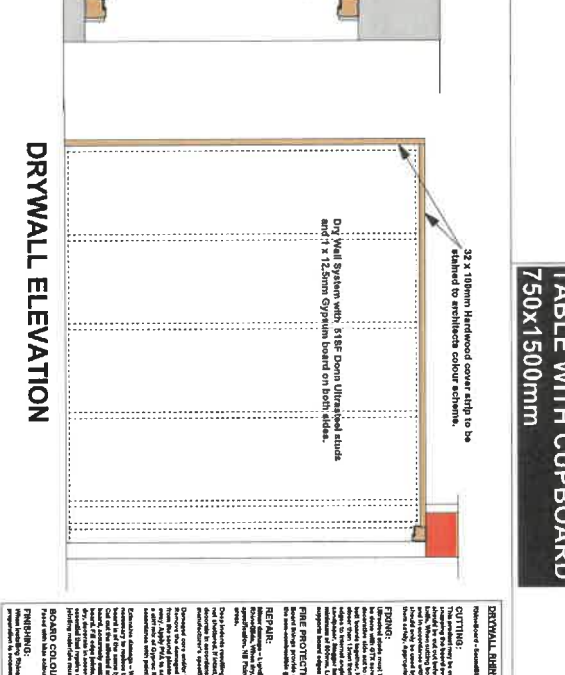
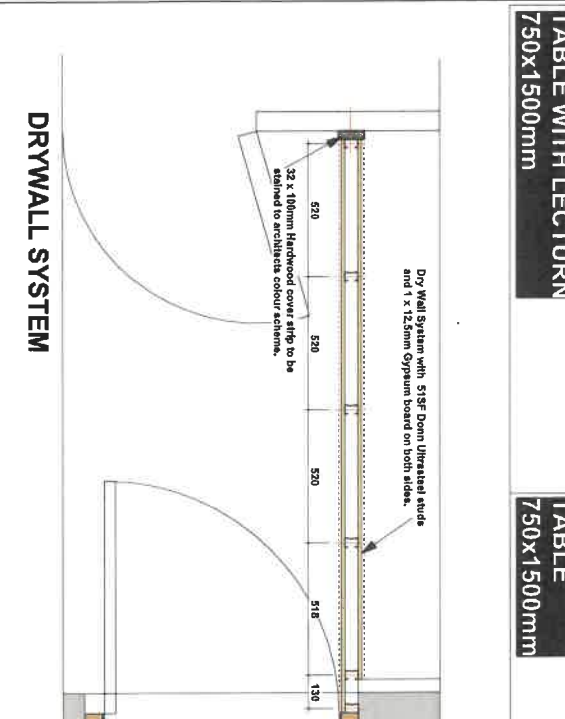
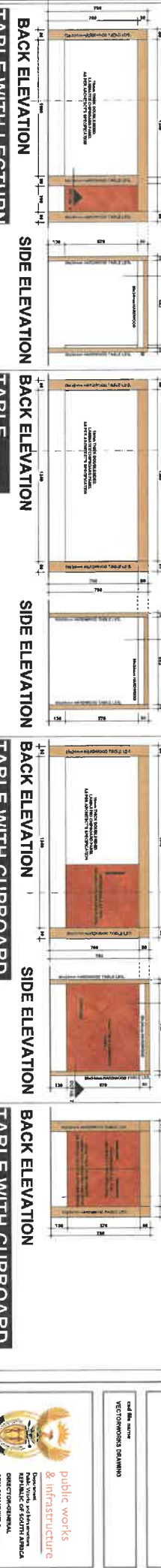
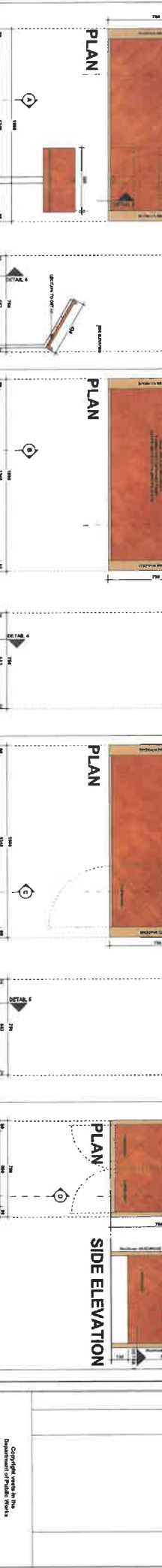
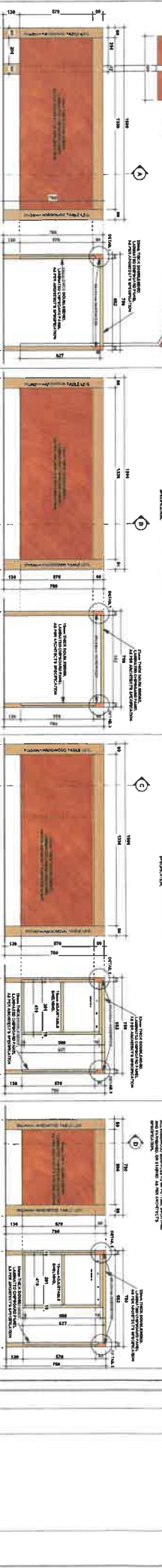
Contract Reference: **AWP/2017/001**
 Contract Description: **Architectural Services**
 Contract Start Date: **15/07/2017**
 Contract End Date: **31/12/2017**

Contract Reference: **AWP/2017/001**
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Contract Reference: **AWP/2017/001**
 Contract Description: **Architectural Services**
 Contract Start Date: **15/07/2017**
 Contract End Date: **31/12/2017**

NO.	DATE	APPROVER	D.W.K.



DRYWALL SYSTEM
 Dry Wall System with 515F Donn Unbraced studs and 1 x 12.5mm Gypsum board on both sides.

DRYWALL SYSTEM
 Dry Wall System with 515F Donn Unbraced studs and 1 x 12.5mm Gypsum board on both sides.

DRYWALL SYSTEM
 Dry Wall System with 515F Donn Unbraced studs and 1 x 12.5mm Gypsum board on both sides.

DRYWALL SYSTEM
 Dry Wall System with 515F Donn Unbraced studs and 1 x 12.5mm Gypsum board on both sides.

DETAILS, REINFORCED JOINTS
 Reinforced - 12.5mm thick, 170mm wide, 270mm long

CUTTING
 CUTTING should be done using a set of dry wall cutting tools and a hand saw. The dry wall should be cut to the required size and shape. The dry wall should be cut to the required size and shape. The dry wall should be cut to the required size and shape.

BOARD TYPE
 The dry wall should be made of 12.5mm thick, 170mm wide, 270mm long.

PLASTERING
 The dry wall should be plastered with 12.5mm thick, 170mm wide, 270mm long.

JOINTING
 The dry wall should be jointed with 12.5mm thick, 170mm wide, 270mm long.

DECORATION
 The dry wall should be decorated with 12.5mm thick, 170mm wide, 270mm long.

COUNTERTOP INSULATION NOTE
 The dry wall should be insulated with 12.5mm thick, 170mm wide, 270mm long.

BOARD COLOUR:
 The dry wall should be made of 12.5mm thick, 170mm wide, 270mm long.

FINISHING:
 The dry wall should be finished with 12.5mm thick, 170mm wide, 270mm long.

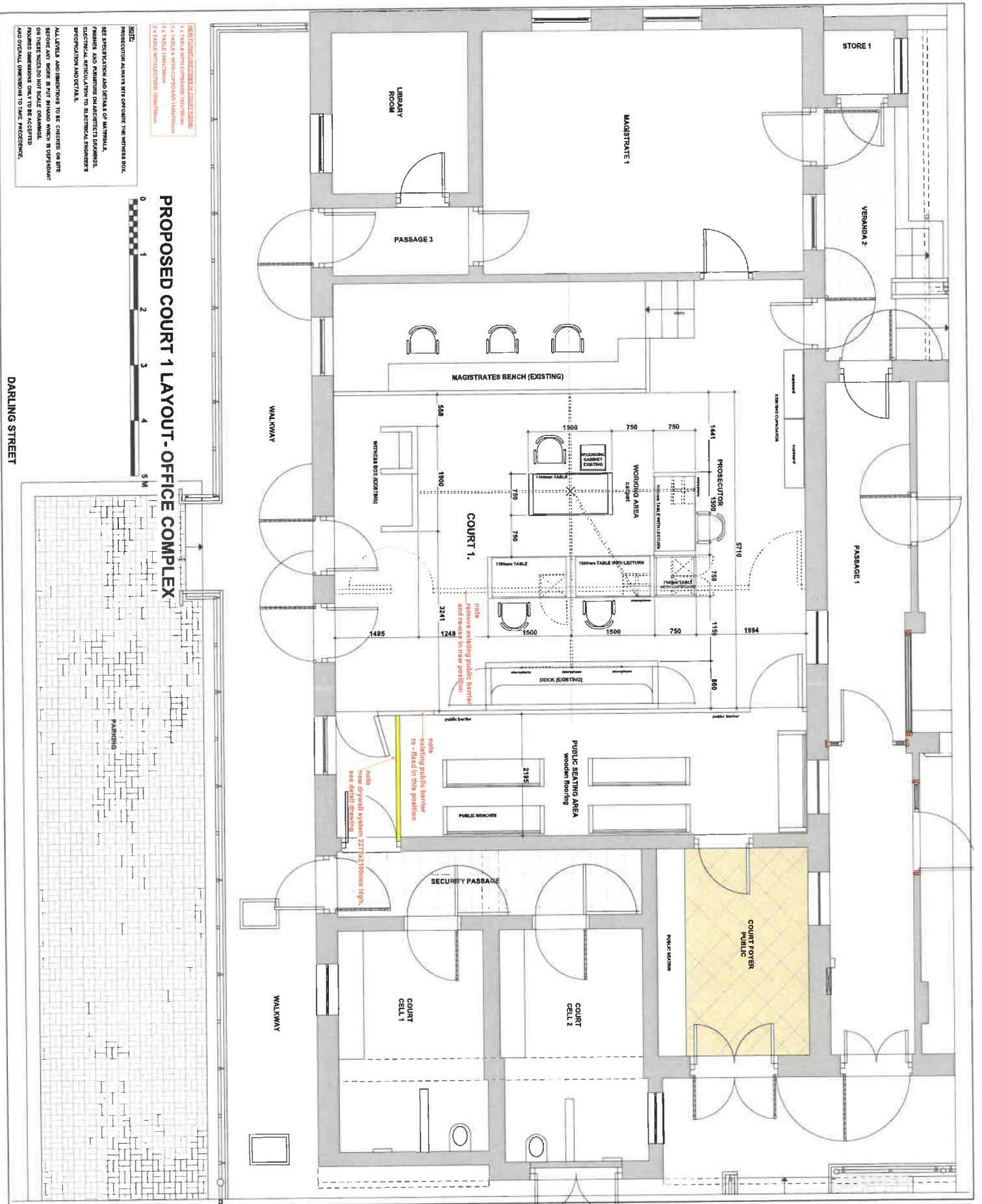
Contractor: **VECTRONICS SHAWMO**

Client: **HANOVER MAGISTRATE'S OFFICE**

Project: **COURT FURNITURE & DRYWALL OFFICE COMPLEX**

Address: **1308-008**

Contact: **1308-008**



NO.	DATE	REVISION	D.P.N.

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code file name: VICTORIOUS DRAWING

Public Works & Infrastructure
Department of Justice
ACT - CANberra

Government of South Australia
Department of Justice
ACT - CANberra

Contract/Project/Department: **HANOVER MAGISTRATE'S OFFICE**

Architect: **COURT 1 LAYOUT OFFICE COMPLEX**

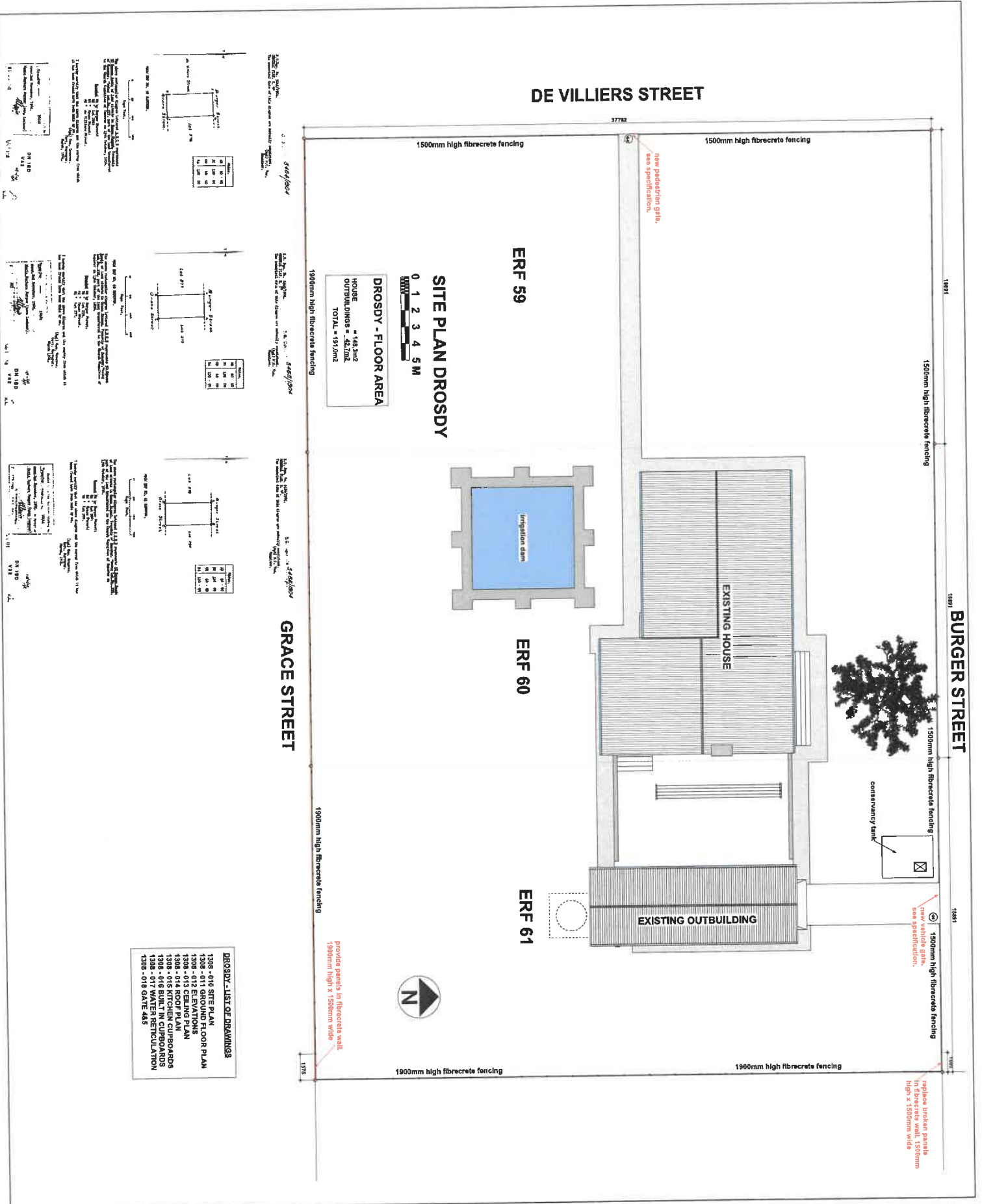
Architect: **HANOVER MAGISTRATE'S OFFICE**

WCA number: **055935**

Drawing title: **COURT 1 LAYOUT OFFICE COMPLEX**

no.	date	description	author	checked
1	1/12/2023	Issue for tender	A. MOORE	A. MOORE
2	2/12/2023	Issue for tender	A. MOORE	A. MOORE

Drawing number: **1308-008**



SITE PLAN DROSDY
 0 1 2 3 4 5 M

DROSDY - FLOOR AREA
 HOUSE = 148.2m²
 OUTBUILDINGS = 462.0m²
 TOTAL = 610.2m²

- DROSDY - LIST OF DRAWINGS**
- 1308 - 010 SITE PLAN
 - 1308 - 011 FLOOR PLAN
 - 1308 - 012 ELEVATIONS
 - 1308 - 013 CEILING PLAN
 - 1308 - 014 ROOF PLAN
 - 1308 - 015 KITCHEN CURBINGS
 - 1308 - 016 BATHROOM CURBINGS
 - 1308 - 017 WATER RETICULATION
 - 1308 - 018 GATE 4&5

1:1000
 1:1000 Scale Drawing
 1:1000 Scale Drawing
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 1:1000 Scale Drawing

NO.	DATE	ASSIGNMENT	D.W.M.

Department of Public Works
 Department of Public Works

public works
 Department of Public Works
 REPUBLIC OF SOUTH AFRICA
 ADV. BATH VORDEK.

Director-General
 ADV. BATH VORDEK.

ARCHITECTURE
 ARCHITECTURE
 ARCHITECTURE

HANOVER
MAGISTRATE'S
OFFICE

1308-010
 1308-010
 1308-010

SITE PLAN
DROSDY

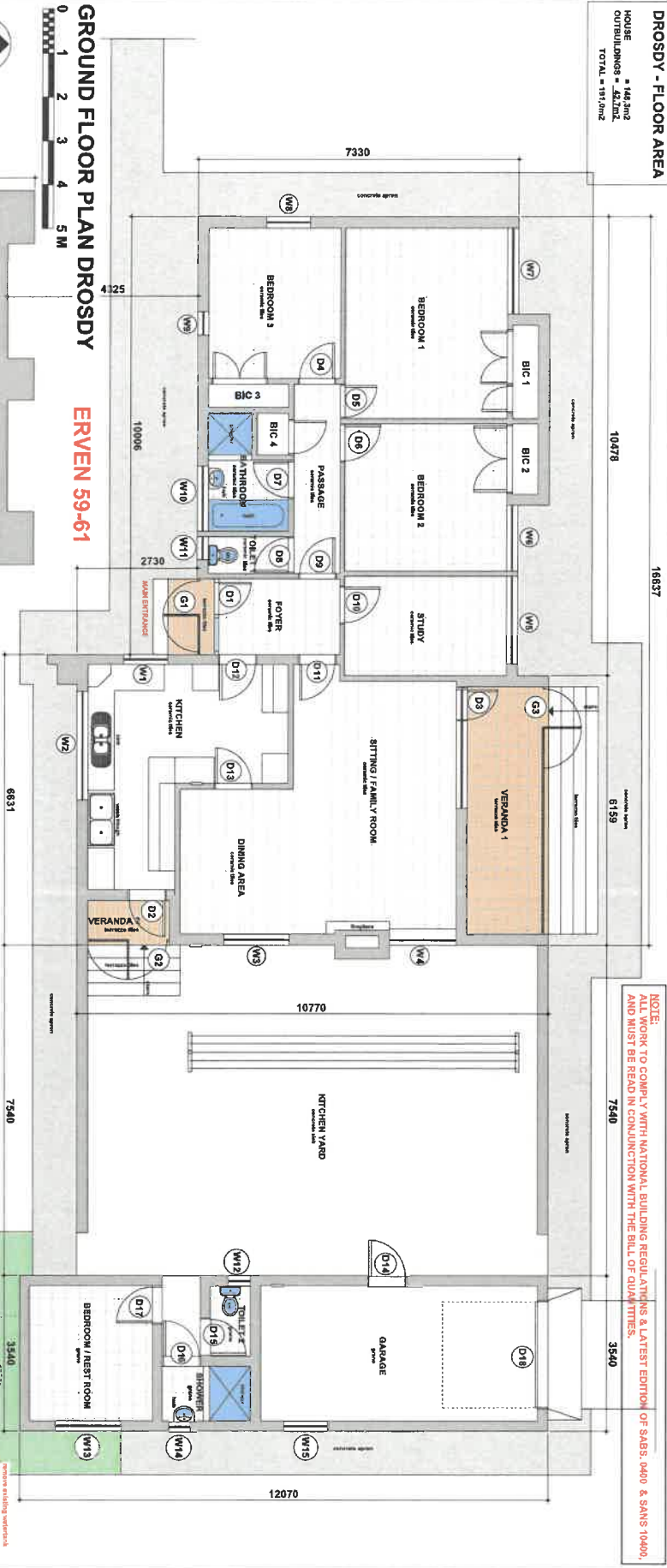
1308-010

DROSDY - FLOOR AREA
 HOUSE = 148,3m²
 OUTBUILDINGS = 46,1m²
 TOTAL = 194,4m²

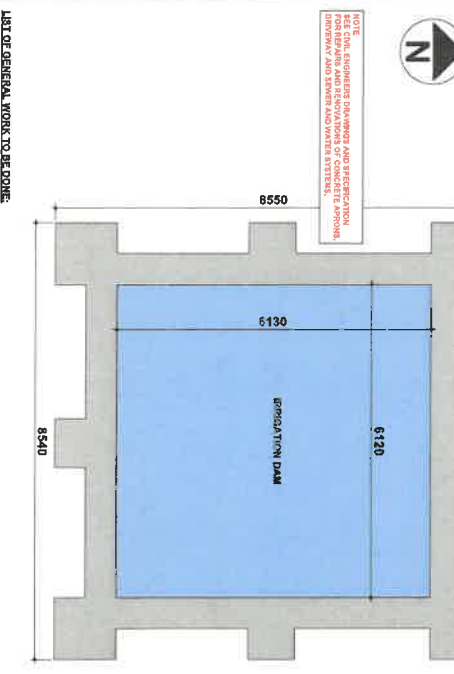
16837

NOTE:
 ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS & LATEST EDITION OF SABS, O400 & SANS 10400, AND MUST BE READ IN CONJUNCTION WITH THE BILL OF QUANTITIES.

GROUND FLOOR PLAN DROSDY
ERVEN 59-61



NOTE:
 SEE BILL OF QUANTITIES FOR MATERIALS AND METHODS TO BE USED AS PER PV 371 (A & B).
 REMOVE SURFACE BEDS & LLOOR FINISH.



LIST OF GENERAL WORK TO BE DONE:

THIS IS NOT A COMPREHENSIVE LIST OF THE WORK THAT MUST BE DONE AND MUST BE READ IN CONJUNCTION WITH THE BILL OF QUANTITIES, A DESCRIPTION OF MATERIALS AND METHODS TO BE USED AS PER PV 371 (A & B).

CONCRETE SURFACE BEDS & LLOOR FINISH:

CRACKS IN CONCRETE FLOOR BEAMS:
 Chisel cracks out, wet thoroughly and fill in with sandy 1:3:1 cement mortar well tamped.

REPAIR SURFACE BED WITH LLOOR FINISH:

Remove the existing floor covering, check up the old concrete surface bed, provide and place filling in 150mm thick layers and consolidate up to the underside of the concrete floor slab. Provide and lay damp proof membrane below surface bed to match the existing or surface bed.
 Shallow shall be laid over the damaged sections well tamped and sealed in an approved manner, prior to the casting of new concrete surface bed.

Where the entire surface bed is to be replaced, the preparation shall be as above, except that the whole of the floor area shall be covered with a damp proof membrane as specified in clause 6.2 of GV 371. Cast a new concrete surface bed in Class Concrete in thickness to match the existing or surface bed, in no case less than 100mm thick. The new surface bed shall be finished to the same standard as the existing surface bed and be smooth and even surface, ready for the laying of floor tiles, mosaics or wood blocks, elsewhere specified.

EXISTING FLOOR FINISH REPAIRS:

Check up existing ceramic floor finish and remove rubble from the. Clean existing surface bed, prepare for and lay new screeding where needed to 20mm cement mortar to a smooth and true surface and to required heights to suit existing floor finish. Scope the floor finish to be done as specified in bill of quantities.

SKIRTINGS AND ANGLE MOULDINGS:

Remove or remove of the existing skirtings and angle moulds where needed. New skirtings where needed to match angle moulds, neatly mitred at angles, close fitted and securely fixed to skirtings. Skirtings to be sandbed and primed.

WALLS INTERNAL & EXTERNAL:

BEAM END WALL REPAIRS:
 Check up existing beam ends, where needed and build in new beam filling. Finish new brickwork with plaster as required or specified.

REMOVE GLAZED WALL TILES:

Remove or plaster wall tiling, including the cement backing thereto, to the areas where directed and remove rubble from the. Make out joints of brickwork, prepare and repair plaster.

REPAIR PLASTER TO UNDERSIDE OF ROOF COVERING:

Check off, cut as required and remove loose and cracked plaster to underside of roof covering and re-plaster roof. W.M. fill in and wall crack in with 3:1 cement mortar, finished off flush with and to match existing plaster.

BACK OF AND REPAIR EXTERIOR AND INTERIOR:

Remove all loose and defective plaster on walls as required, rake out joints to form a key for new plaster, well wet the bare brickwork and re-plaster the surfaces with cement mortar, finished smooth and flush with adjoining surfaces to match existing.

REPAIR CRACKS IN WALLS:

Cracks from 20mm wide as to have the plaster cut away on both sides of crack, not less than 150mm from edge of crack. Rake out joints to form a key for new plaster, well wet the bare brickwork and re-plaster the surfaces with cement mortar, finished smooth and flush with adjoining surfaces to match existing.

PAINTED WALL SURFACES WITH PAINT IN BAD CONDITION:

Strip or as needed or otherwise defective paint film, make good all surface cracks. Rub down to a smooth surface and one coat bonding liquid or other approved first coating in accordance with the manufacturers instructions and two coats of the paint as specified in the bill of quantities.

DOORS AND WINDOWS:

ALL EXISTING DOORS AND WINDOWS:
 See schedule for specification of work to be done.

SKIRTINGS:

See schedule for specification of work to be done.

FLOOR COVERINGS:

Provide new floor covering as per specification. See detail drawings and specification for all cupboards and skirtings.

BATHROOM, TOILETS, SHOWER:

WATER CLOSET PANS:
 Disconnect and remove existing water closet pans. Provide and install new water closet pans as described, including the connection of pipes to floor pan, as specified. (SABS 497)

FLUSHING CISTERNS:

Remove existing flushing cisterns. Provide and fit new cisterns as specified, including the connection of pipes to cisterns and closet pans. (SANS 497)

TOILET SEATS (HEAVY DUTY PLASTIC):

Provide and fit heavy duty toilet seats to closet pans. Flap to be secured to pan, complete with rubber buffer etc.

WASH HAND BASINS (BRACKET TYPE):

Disconnect cold, hot and waste pipes, remove wash hand basin complete with brackets. Provide and fit new wash hand basins as specified. Provide and fit wash hand basins with new chromium-plated brass clean screw down pillar taps as specified. Provide and fit new taps.

TOILET ROLL HOLDERS:

Provide and fit in each W.C. chromium-plated toilet roll holders as sample T1. Screwed to plugs in walls.

TOWEL RAILS:

Provide and fit in position where directed a 20mm diameter towel rail, 750mm long, supported on chromium plated brackets as specified.

GLAZED WALL TILING ABOVE WASH HAND BASINS:

Line the walls above wash hand basins with three rows 200x200mm white matt glazed tiles as specified.

BATHROOM & SHOWER CABINET:

Provide and fit in position where directed a wood cabinet. The cabinet shall be fitted with one shelf and a mirror of 600mm high and 450 x 350 x 100mm deep. The size of cabinet to be 450 x 350 x 100mm deep. The size of mirror thick rounded and polished edges silvered plate glass, as described in bill of quantities.

REPLACE SOAP RECEPTACLES:

Remove existing soap receptacles, including cement mortar. Thoroughly clean out and wet hole. Provide and fit in position where directed a new approved white or coloured glazed earthenware soap receptacle with long lead lip.

SHOWER ENCLOSURES:

Thid floor (as per specification) laid with fall to shower trap. Provide taps, valves, showerheads complete as per SANS 549

BUILDING CUPBOARDS, KITCHEN CUPBOARDS & SKIRTINGS:

See detail drawings and specification for all cupboards and skirtings.

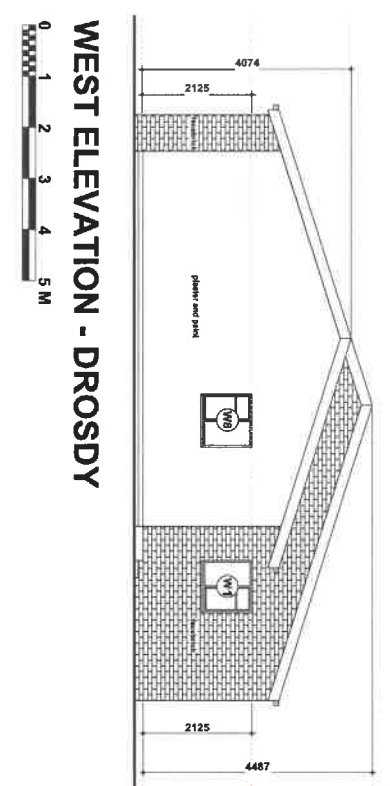
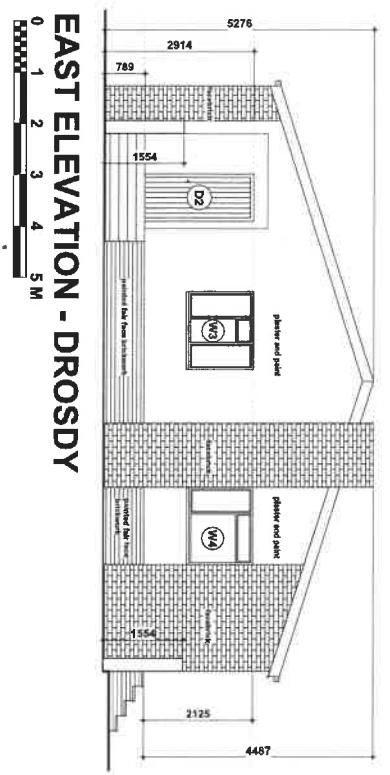
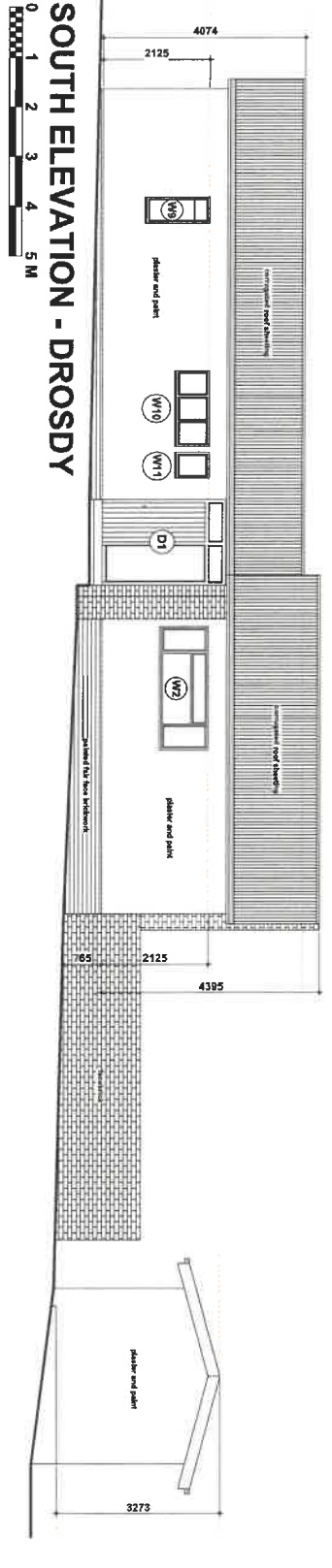
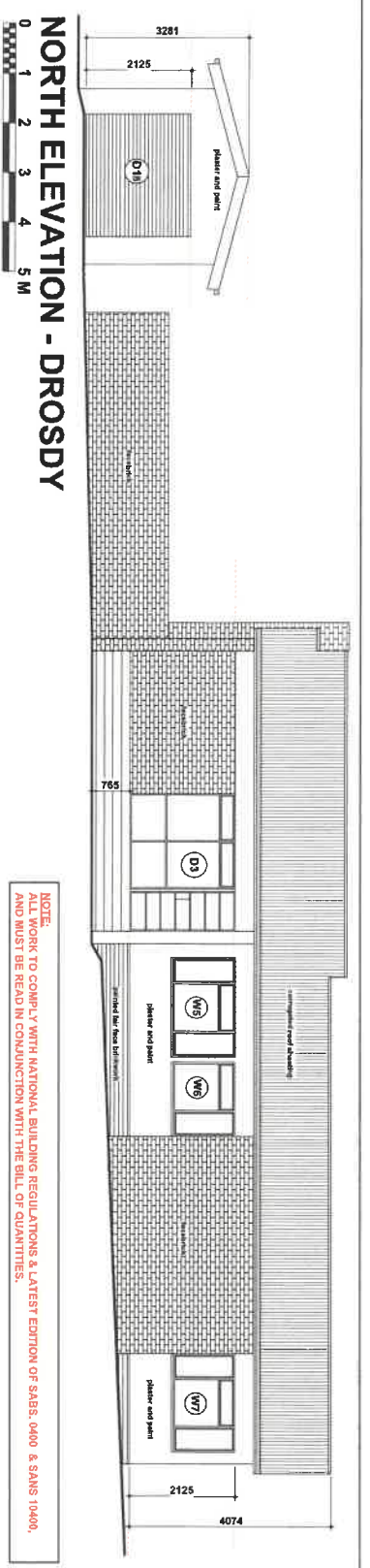
NO.	DATE	APPROVED	D.P.M.
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Company name, logo, and contact information for the contractor.

public works
 Department of Public Works
 Republic of South Africa
 Director-General
 Mr. S. V. M. M. M. M.

HANOVER
MAGISTRATE'S
OFFICE

Project name: GROUND FLOOR PLAN DROSDY
 Drawing title: GROUND FLOOR PLAN DROSDY
 Date: JULY 2011
 Drawing number: 1308-011



NO.	DATE	REVISION	D.P.M.

NOTE:
ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS & LATEST EDITION OF SABS, 0400 & SANS 10400, AND MUST BE READ IN CONJUNCTION WITH THE BILL OF QUANTITIES.

LIST OF GENERAL WORK TO BE DONE:
THIS IS NOT A COMPREHENSIVE LIST OF THE WORK THAT MUST BE DONE AND MUST BE READ IN CONJUNCTION WITH THE BILL OF QUANTITIES AND METHODS TO BE USED AS PER PW/217(A,B) OF MATERIALS AND METHODS TO BE USED INTERNALLY AND EXTERNALLY.

BEAM BUILDING REPAIRS:
Hack out existing beam filling where needed and build in new beam filling. Finish new brickwork with plaster as required or specified.

REPAIR IN LATER TO UNDERSIDE OF ROOF COVERING:
Hack off, cut as required and remove loose and cracked plaster to underside of roof covering and adjoining roof timbers. W4, W8 in and wall crack to with 3:1 cement mortar, finished off flush with and to match existing plaster.

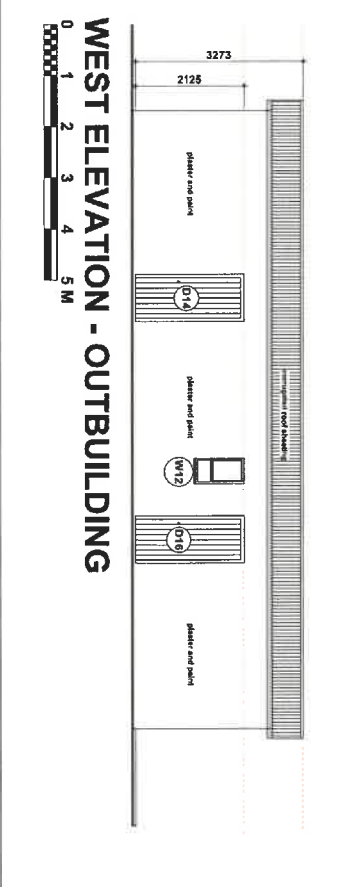
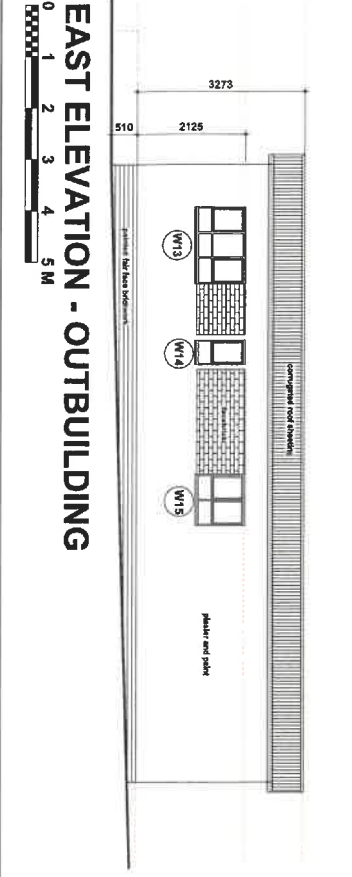
HACK OFF AND RE-PLASTER INTERIOR AND EXTERIOR:
Remove all loose and defective plaster or walls as required, take out joints and finish with new plaster. Finish new plaster with plaster as required or specified. The surfaces with cement mortar, finished smooth and flush with adjoining surfaces to match existing.

REPAIR CRACKS IN WALLS:
Cracks 30mm to 25mm wide are to have the plaster cut away on both sides of crack, not less than 150mm from edge of crack in straight lines. The crack is to be filled with 1:1 cement mortar, finished smooth and flush with adjoining surfaces. The plaster is to be finished off flush with adjoining surfaces. The plaster is to be finished off flush with adjoining surfaces.

PAINTED WALL SURFACES WITH PLASTER AND CONCRETE:
Strip off all lead or cyanide detector paint film, make good all surface cracks, rub down to a smooth surface and paint. One coat bonding primer or other approved first coating in accordance with the specifications and the color of the paint as specified in the bill of quantities.

DOORS AND WINDOWS:
ALL EXISTING DOORS AND WINDOWS:
See schedules and specification for work to be done.

GALVANISED ROOF COVERING REPAIRS AND PAINT:
See roof plan and specification for work to be done.



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Public Works
Department of Public Works
REPUBLIC OF SOUTH AFRICA
0653335
ADV. JAN VORSTER

Completed/Reviewed
Architect
A. KROONEN
17/03/2011
17/03/2011
17/03/2011

**HANOVER
MAGISTRATE'S
OFFICE**

WCS Number
065335

Drawing Title
**ELEVATIONS
DROSDY**

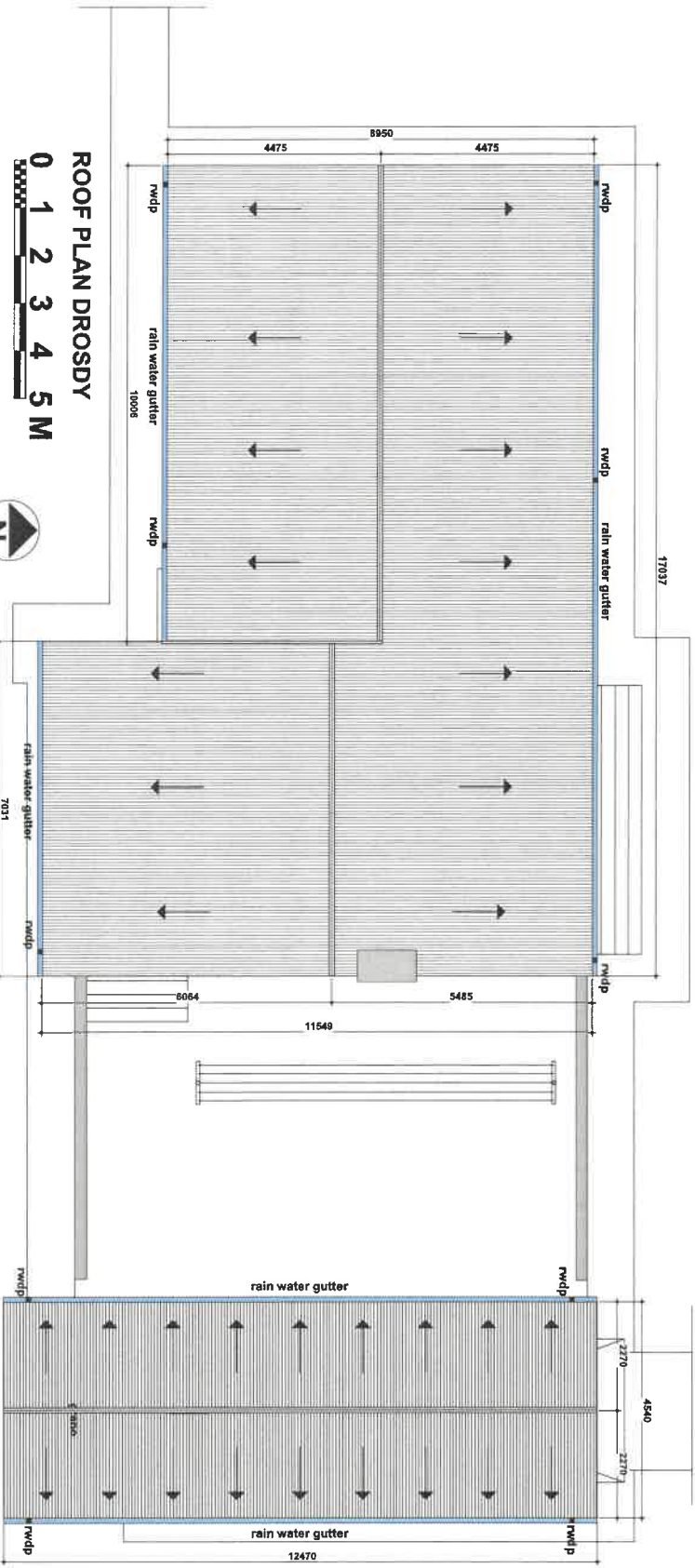
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1:10000

Drawn By
A. KROONEN

Checked By
A. KROONEN

Approved By
A. KROONEN

Project Number
1308-012



NOTE:
ALL WORK TO COMPLETELY WITH NATIONAL BUILDING REGULATIONS & LATEST EDITION OF SABS, 0400 & SANS 10400.
AND MUST BE READ IN CONJUNCTION WITH THE BILL OF QUANTITIES.

GALVANISED IRON ROOF COVERING (REPAIRS):

Carefully examine entire roof areas and locate leaks with particular attention given to roof leaks where marks are visible on walls and ceilings. Locate holes and solder. Replace defective screws using longer screws as 'Reseal' as SABS Specification 135 where purlins are fixed on edge, and firm bolts where purlins are fixed on flat. Beat into corrugations damaged or buckled edges, fix in position where necessary using self-lapping screws, roofing screws or verandah bolts. Similarly examine all flashing, ridging and valley linings, repair and re-fix loose sections, as for roof covering.

No plastic or other compounds are to be used to render leaks watertight.

FASCIA BOARDS (REPLACE WITH NEW):

Neatly cut fascia boards as required, take down and remove from site. Provide and fix new fascia boards to match existing.

RE-FIXING OF WOODWORK:

Examine all woodwork such as fascia and barge boards, eaves coverings and cover strips and all other woodwork fixed to walls and securely re-fix in their original positions using new plugs, longer screws, etc.

PAINTED GALVANISED IRON ROOF COVERING:

Strip roof paint completely back to a sound bare galvanised iron. Remove all loose rust and scale by means of wire brushing, sanding, chipping, or mechanical scouring - down to bright metal. To remove dirt, salts and zinc corrosion (white rust) clean thoroughly with Galvanised Iron Cleaner achieving a water-break free surface. For sound surfaces scrub the area with Sugar Soap/water solution. Clean with high pressure water jet to remove Sugar Soap residue and other surface contaminants. Apply two full coats of Galvanised Iron Primer to all exposed galvanised iron, overcoat within 48 hours with 2 coats of Roofguard paint.

GALVANISED IRON ROOF (PAINT UNDERNEATH WHERE EXPOSED):

Degrease with an approved detergent or solvent, apply two coats of approved primer and one coat approved roofing paint. Existing painted surfaces are to be cleaned and painted one coat approved roofing paint, all as specified.

UNDERSIDE OF CORRUGATED IRON ROOF COVERING PAINT IN BAD CONDITION:

Strip roof paint completely back to a sound bare galvanised iron. Remove all loose rust and scale by means of wire brushing, sanding, chipping, or mechanical scouring - down to bright metal. Apply two full coats of Galvanised Iron Primer to all exposed galvanised iron, overcoat within 48 hours with 2 coats of Roofguard paint.

PAINTED GUTTERS AND RAINWATER PIPES:

Provide new gutters and rainwater pipes. 125x100mm square gutter and 100x75mm down pipe. Rub down and paint.

GUTTERS OUTSIDE:

Apply two full coats of Galvanised Iron Primer to all exposed galvanised iron, overcoat within 48 hours with 2 coats of Roofguard paint.

GUTTERS INSIDE: Clean and paint one coat bituminous paint

PAINTED WOODEN FASCIA AND BARGE BOARDS:

Remove paint coating back to bare surface. Knot and stop, etc., and paint one primer coat, two undercoats and one coat high-gloss paint.

PAINTED FIBRE CEMENT FASCIA AND BARGE BOARDS WITH PAINT:



Remove paint coating back to bare surface. Rub down to a smooth surface, treat with approved bonding liquid, paint half heads with flat paint and paint surfaces two coats approved Roofguard paint...

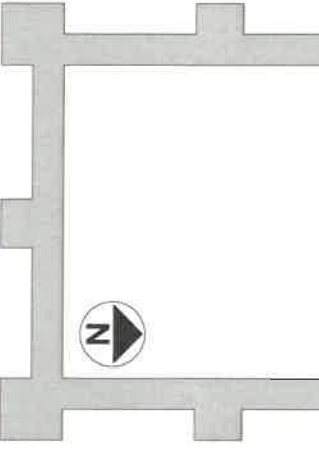
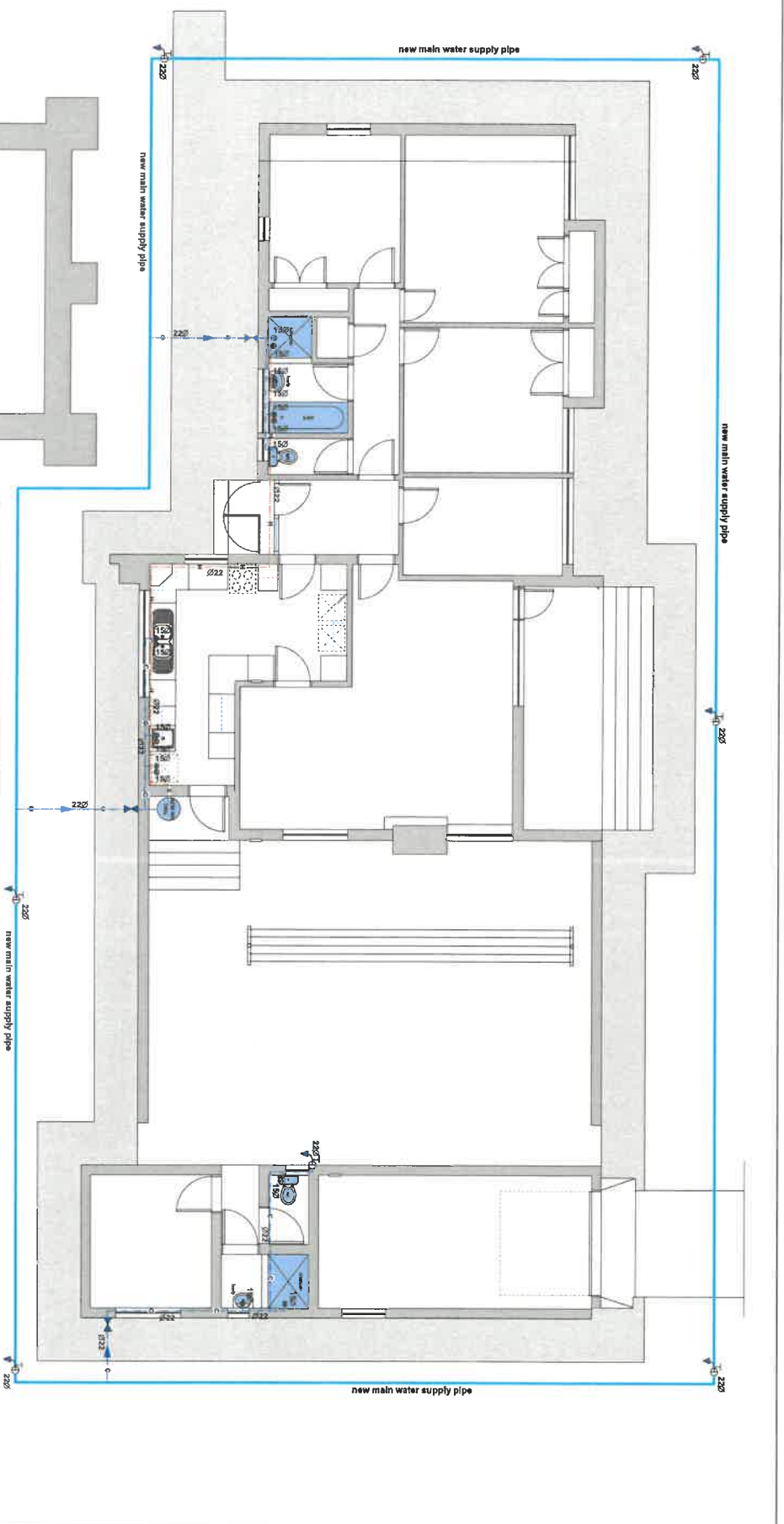
SPROCKETS INCLUDING BOTTOM PURLIN (PAINTED):

Rub down, clean and paint one undercoat and one coat high-gloss paint.

PAINTED VERANDAH ROOF WOODWORK:

Remove paint coating back to bare surface and rub down. Clean, knot, stop and paint one primer coat, two undercoats and one coat high-gloss paint.

NO.	DATE	AMENDMENT	D.P.M.
Prepared by the Department of Public Works			
Used the name VECTORMARK DRAWING			
 public works Department REPUBLIC OF SOUTH AFRICA 1201 JAM VOELZEL			
 HANOVER MAGISTRATE'S OFFICE			
VECTORMARK 065335			
Drawing title ROOF PLAN DROSDY			
File No	Design	Drawn	
1308/201/1/10	130	A. WISBERGER	
Date	Checked	A. ROBINSON	
13.11.2011	13.11.2011		
Spec. Number	Drawing number		
	1308-014		



WATER RETICULATION DROSDY

SANS 10252-1 WATER LEGEND

	New DIA 50mm (HDPE CLASS 9) main water supply pipe
	Pipe carrying cold water
	Pipe carrying hot water
	Normal direction of flow
	Mixer water tap (manual control)
	Stop cock / isolation valve
	Front valve to comply with SANS 752 & SANS 1006
	Tap (external) min 450mm above right. Brass taps with screwed nozzle for hose
	Non-ferrous valve
	200l Warm water heater (geyser)

NOTES

All work to be done in accordance with the applicable building regulations and to satisfy SANS 10252-1:2012. Verify of complete water system to satisfy SANS 10252-1:2012. All work must be done by a registered plumber.

SPECIFICATIONS FOR COPPER TUBE SANS 440 CLASS 8:

It is a self-cleaning system for use in hot and cold water reticulation systems for above ground use only. Any change of direction through 90 degree elbow, should be made by using sanitary fittings.

WATER TAP, SUPPORTS AND FIXINGS POINTS TO BE INSTALLED:

WATER TAP: ISOLATION VALVES TO BE INSTALLED:

- 1) Wherever required, especially hot water lines, after the expansion.
- 2) At hand assemblies or in situations where consideration is given, the valve be installed from the side.
- 3) At hand assemblies and isolation valves, valves or cocks.
- 4) At hand assemblies and support brackets should be fixed at least 15mm away from a fitting or from a change of direction.
- 5) This valve has no movement of the handle when expansion and contraction takes place.
- 6) The valve of fixed valve, when at hand valve is a fitting assembly is not recommended as it may lead to expansion of the valve through hand assembly.

1) To avoid emptying, when pipes are fixed in a suspended ceiling space by hanging brackets, suitable hanging should be used to fix the installation to the support brackets, i.e. Truss type isolation brackets.

THERMAL EXPANSION OF COPPER (11800)

The coefficient of linear expansion of copper tubing is 1,67E-05 per m °C between 0° and 100°C. For example, a 10m length of copper tubing will expand 1,67mm when the temperature rises from 0°C to 100°C. This expansion is not recommended as it may lead to expansion of the tubing. Provision for expansion can include the fitting of expansion loops and elbows, an expansion and relief valve SANS 10252-1:2012. Changing direction also be used to reduce piping length.

CAUTIONARY REMARKS

A full range of sanitary fittings is readily available in all sizes to fit SANS 440 Class 8, from 15mm to 100mm diameter. Care should be taken to not use too much flux due to the damaging agents in the flux can be harmful to the copper system if not cleaned off properly.

NOTE

QUALIFIED WATER TAP AND VALVE INSTALLERS WITH COPPER

It is recommended that the work be done by a registered plumber. The work should be done in accordance with the applicable building regulations and to satisfy SANS 10252-1:2012. All work must be done by a registered plumber.

THE QUALITY OF THE WORK SHOULD BE MONITORED BY THE REGISTERED PLUMBER.

CONCRETE TUBE OR CHINA AND CONCRETE

It is recommended that the work be done by a registered plumber. The work should be done in accordance with the applicable building regulations and to satisfy SANS 10252-1:2012. All work must be done by a registered plumber.

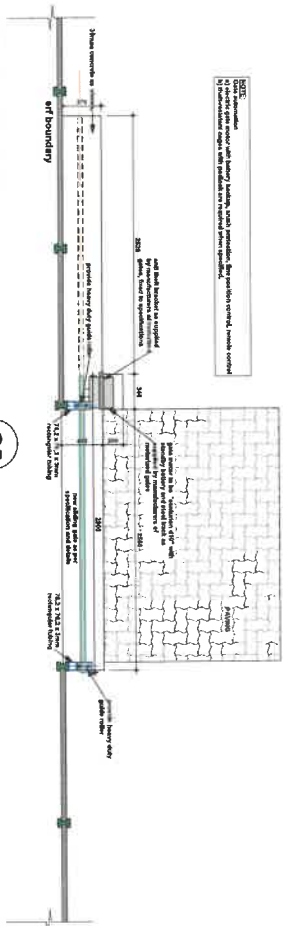
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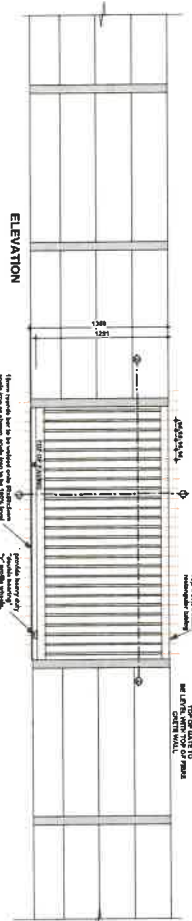
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NO. DATE	AMENDMENT	D.O.M.
<p>Completed by the Designer of Public Works</p>		
<p>and the name ARCHITECTURE</p>		
<p>Public Works Department REPUBLIC OF SOUTH AFRICA DIRECTOR-GENERAL ADV. SH. VERMA</p>		
<p>Approved by the Architect</p>		
<p>WCS number 065936</p>		
<p>WATER RETICULATION DROSDY</p>		
date	checked	drawn
1:16	A. MORRISON	A. MORRISON
date	checked	drawn
JULY 2011	A. MORRISON	A. MORRISON
<p>drawing number 1308-017</p>		



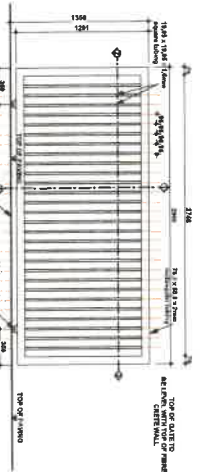
VEHICLE SLIDING GATE - PLAN G5
SCALE 1:25



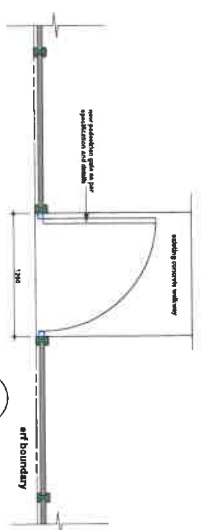
SLIDING GATE ELEVATION
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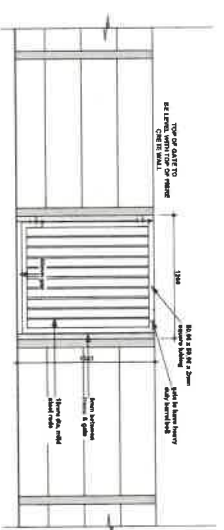
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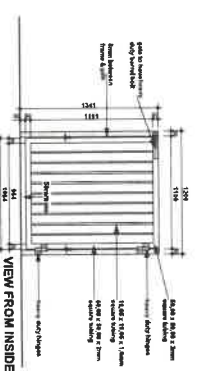
SLIDING GATE DETAILS
SCALE 1:25



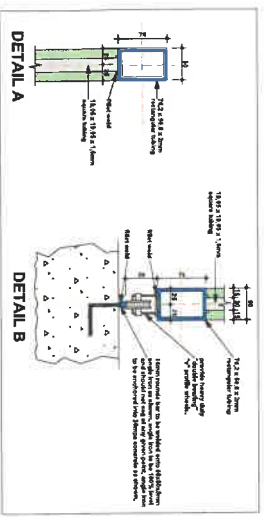
PEDESTRIAN GATE - PLAN G4
SCALE 1:25



PEDESTRIAN GATE ELEVATION
SCALE 1:25





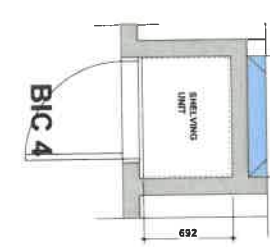
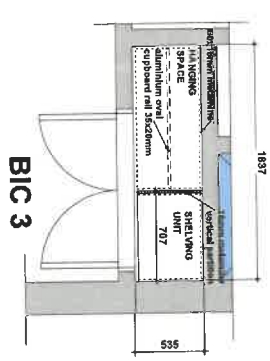
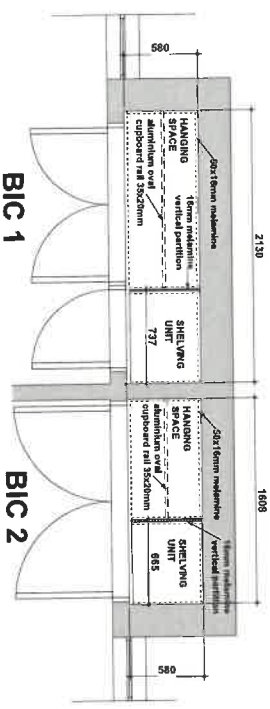
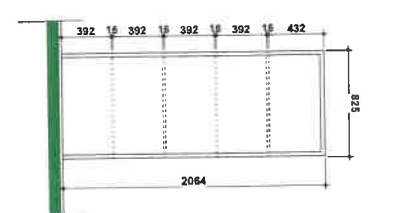
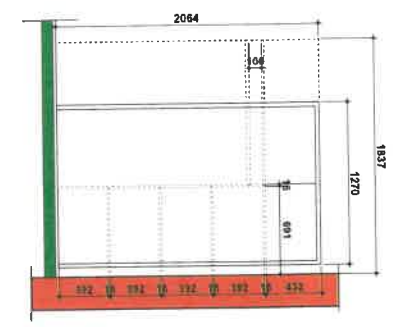
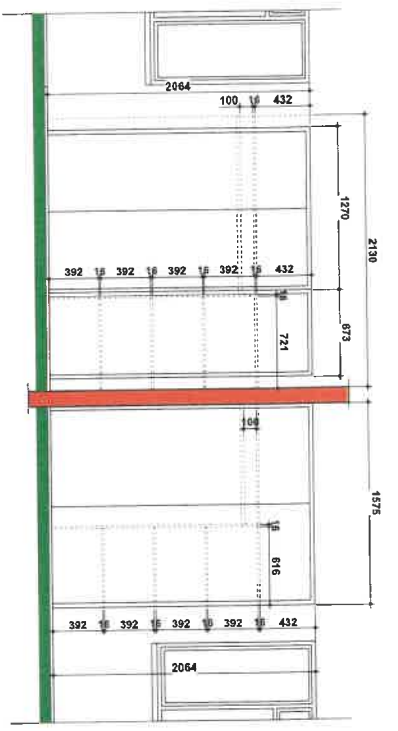
PEDESTRIAN GATE DETAILS
SCALE 1:25



TYPICAL DETAILS
SCALE 1:4

NOTE:
PAINTING METALWORK (GALVANISED, NEW OR UNPAINTED):
Wash down with an approved detergent, oil-cut one coat self-etch primer, one undercoat and one coat high gloss finishing paint, as specified in bill of quantities.
PAINT METALWORK SUPPLIED WITH SHOP COAT:
Metalwork supplied with shop coat as mentioned below and left in as the work proceeds, to be cleaned and rubbed down on exposed surfaces, touched up with zinc chromate primer and painted one undercoat and one coat high gloss finishing coat.

NO.	DATE	AMENDMENT	D.P.M.
Copyright © 2014 by the Department of Public Works			
 Public Works Department of Public Works REPUBLIC OF SOUTH AFRICA DIR. GENERAL ADV. SANITARIUM			
 HANOVER MAGISTRATES OFFICE ARCHITECTURE 1308-018			
VECB number: 0552335 drawing title: GATE 4 & 5 DROSDY scale: 1:100 date: 20/11/2014 type number: A.MCROSDY/14 drawing number: 1308-018			

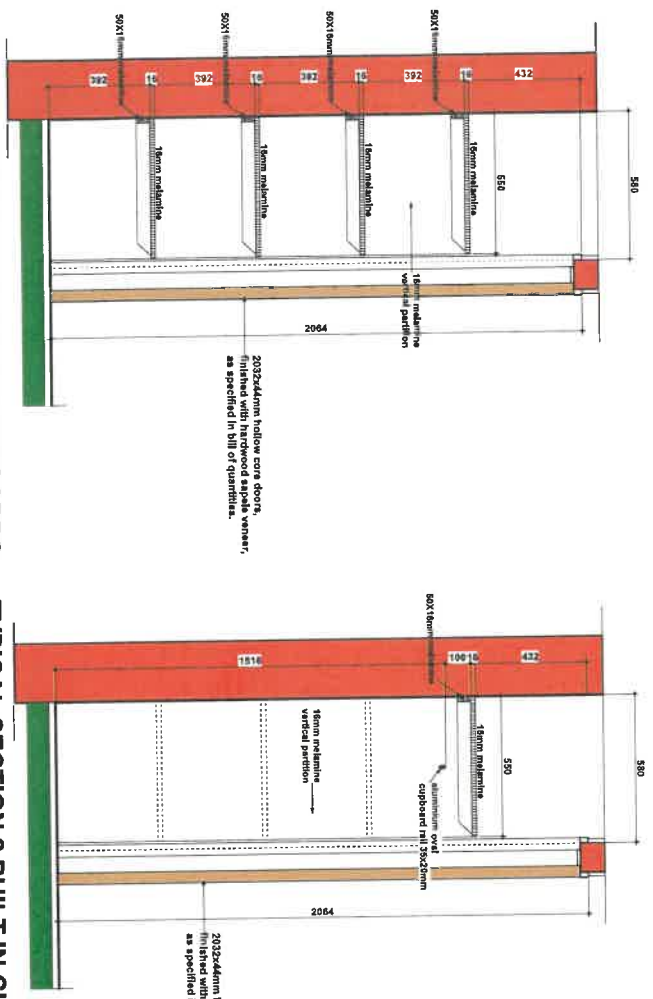


BIC 1

BIC 2

BIC 3

BIC 4



2032x44mm hollow core doors, finished with hardwood saple veneer, as specified in bill of quantities.

2032x44mm hollow core doors, finished with hardwood saple veneer, as specified in bill of quantities.

BUILT-IN WARDROBES:
Provide built-in wardrobes, where indicated on floor plan. The wardrobes to be divided in sections as indicated, formed with continuous top, shelf, vertical partition and intermediate shelves.
Existing steel cupboard door frames to be refurbished. Remove broken or defective door frame hinges. Provide and fit new items if needed to match existing and leave all in good working order.
Remove paint coating on frames to a bare surface.
Repair and paint one primer coat and one undercoat and one coat high gloss paint to metalwork.
Provide wardrobe with hollow core doors, finished with hardwood saple veneer, as specified in bill of quantities. Doors are to be finished off to open and close freely.
Apply three coats of penetrating wood treatment on all woodwork. Thin the first coat 50% with mineral turpentine to aid penetration on wood. Thin second coat 10% followed by the third coat full strength. Allow 48 hours (2 days) drying time between coats. Colour to architect's specification and colour scheme.
Hang doors on built-in supplied with frames.
One leaf of double doors to be provided with 102mm necked socket bolt, screwed to top and bottom of leaf and its external, a dummy handle to match locking push button. The other leaf to be fitted with locking push button cupboard catch as PWD sample 56.
Single doors to be fitted with locking push button cupboard catch as PWD sample 56.

TYPICAL SECTION 1 BUILT IN CUPBOARDS

TYPICAL SECTION 2 BUILT IN CUPBOARDS

NO.	DATE	AMENDMENT	D.P.M.
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cell file name
VICTORWOMING SHAWING

**HANOVER
MAGISTRATE'S
OFFICE**

drawing title
**BUILT-IN CUPBOARDS
DROSDY**

VICT number 055335
drawing date
scale 1:50
date JULY 2011
type number
drawing number 1308-016

Copyright work in the Department of Public Works

Use of the name VICTORIANO BORGARDO



Architectural Firm: **HANOVER MAGISTRATE'S OFFICE**
 Address: 100 Orange Design Studio CC
 100 Orange Design Studio CC
 172031 Midway (N31) 16252313

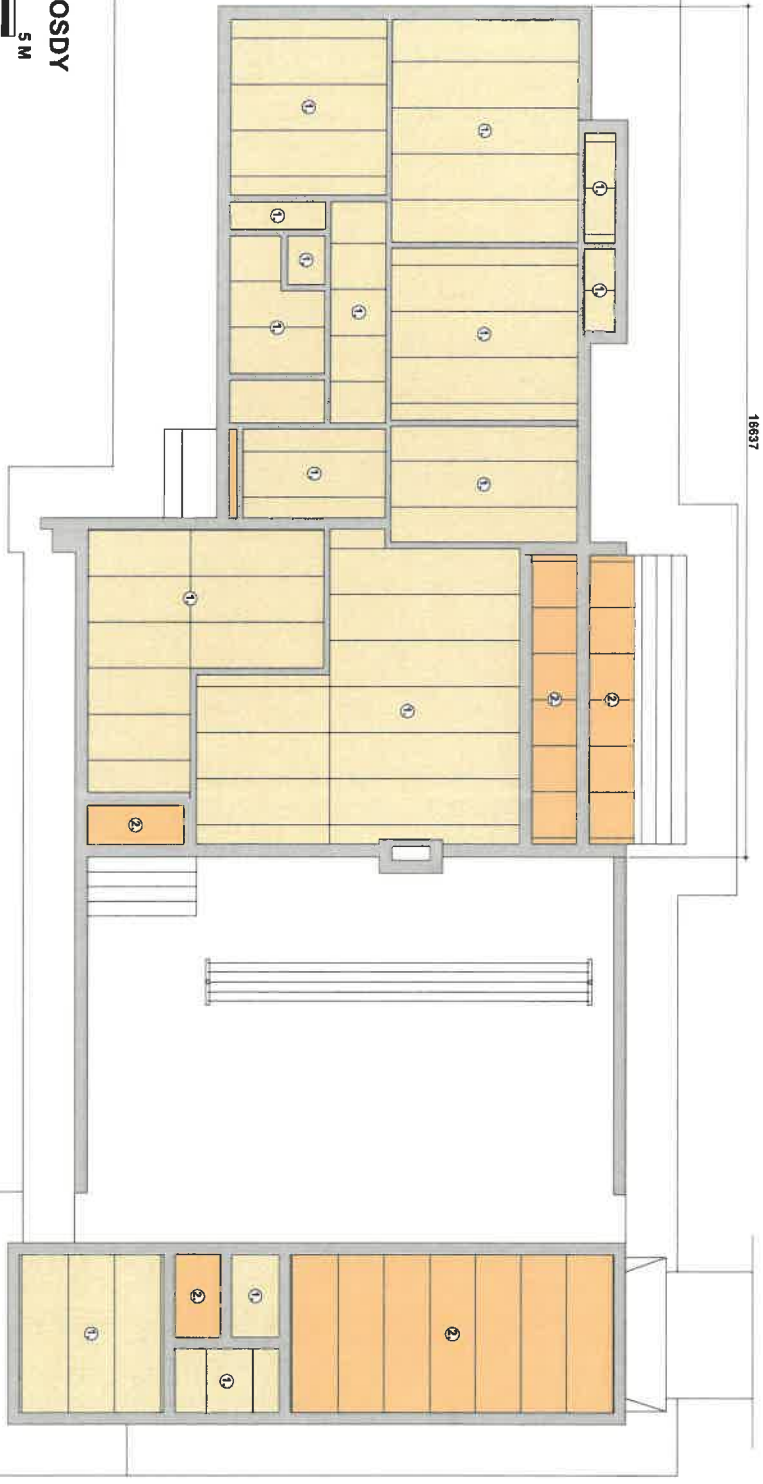
Project Name: **CEILING PLAN DROSDY**
 VCS number: 055335

Author: **LEWISZAZULU**
 Date: 199
 Type number: JULY 2011
 Drawing number: **1308-013**

CEILING PLAN DROSDY



NOTE:
 ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS & LATEST EDITION OF SABS, 9400 & SABS 10400,
 AND MUST BE READ IN CONJUNCTION WITH THE BILL OF QUANTITIES.



CEILING SPECIFICATION

1) GYPSUM CEILING BOARDS - 12mm² TOTAL

Take off existing ceilings and branding and remove from site.
 Provide new 6,4mm gypsum ceilings fixed to 50x20mm SA Pine branding at 450 c/c maximum.
 Pattern when visible: arrange boards asymmetrically about room, at right angles to branding, with cut boards along walls. Nail boards to timber branding with 38 mm hot dip galvanized clout nails or 32 x 2,5 mm diameter hot dip galvanized serrated ceiling nails at 150 mm centres maximum.

Take off existing cornice to the ceiling and remove from site.
 Provide and fix new 75mm gypsum cornice as described in bill of quantities.
 Fix new cornice to ceiling with 40 x 2mm diameter cadmium plated clout headed nails, and to wall surfaces with approved hardened steel nails, all at not more than 200mm centres.

Prepare, stop and paint nail heads with flat paint and paint two coats interior emulsion paint to all gypsum plasterboard ceilings and cover strips and cornices.

Provide and lay on ceiling surfaces insulation, manufactured out of 135mm thick resin bonded glass fibre or rock mineral wool, as described in bill of quantities.

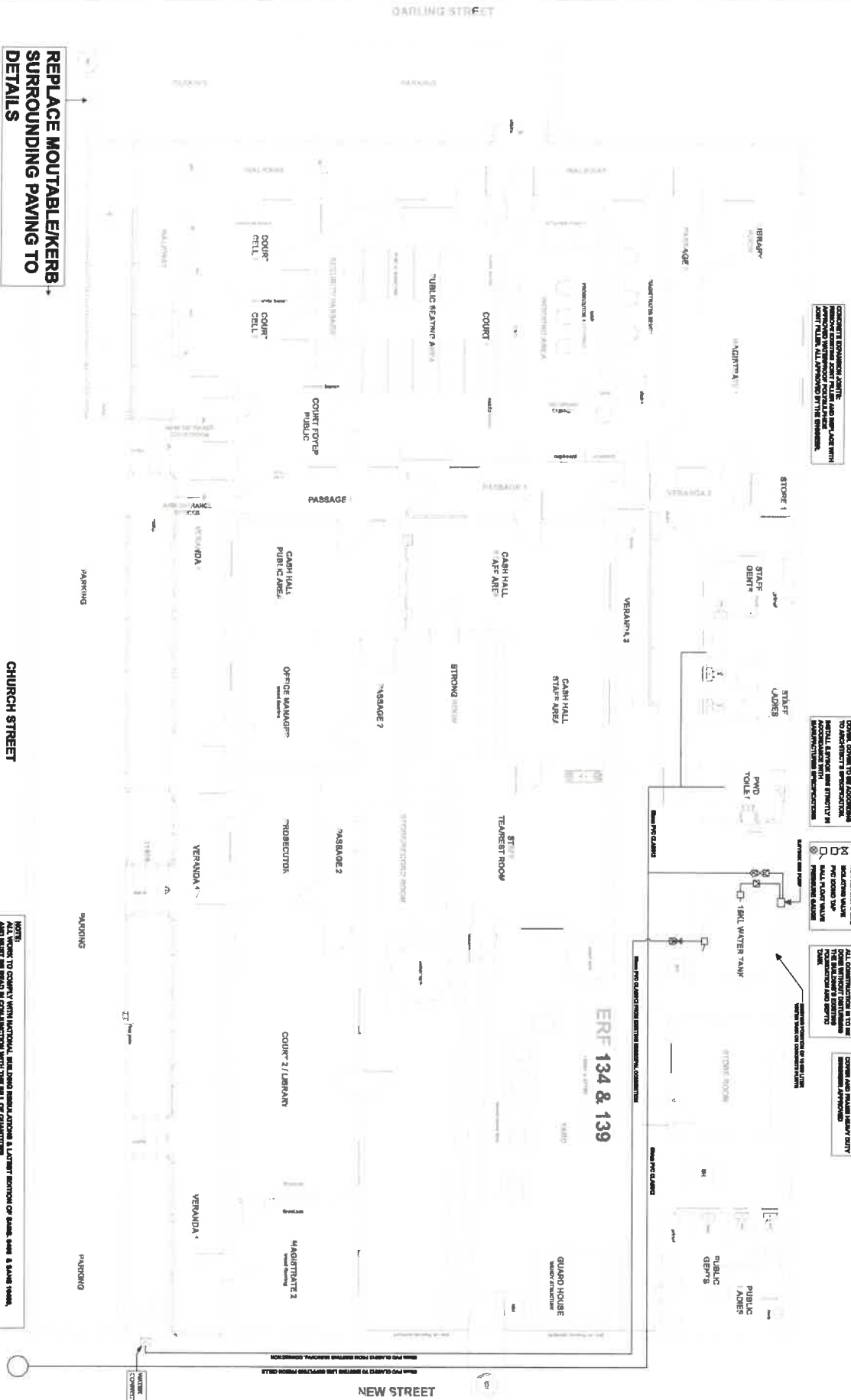
2) FIBRE CEMENT BOARDS - 5mm² TOTAL

Take off existing ceiling and branding and remove from site.
 Provide and fix new 75mm fibre cement boards to timber branding at 450 c/c maximum.
 Pattern when visible: arrange boards asymmetrically about room, at right angles to branding, with cut boards along walls. Nail boards to timber branding with 38 mm hot dip galvanized clout nails or 32 x 2,5 mm diameter hot dip galvanized serrated ceiling nails at 150 mm centres maximum.

Take off existing cornice to the ceiling and remove from site.
 Provide and fix new 75mm hardwood cornice, as described in bill of quantities.

Prepare, stop and prime with an approved Allcell rusting primer and paint one undercoat and one coat flat paint to all fibre cement ceilings, cornices and cover strips.

Provide and lay on ceiling surfaces insulation, manufactured out of 135mm thick resin bonded glass fibre or rock mineral wool, as described in bill of quantities.



REPLACE MOUTABLE/ERB SURROUNDING PAVING TO DETAILS

CHURCH STREET

CONNECT TO EXISTING LINE SUPPLYING PRISON CELLS

CONCRETE EQUIPMENT AREA
 REMOVE EXISTING CONCRETE FLOOR AND REINFORCE WITH 100MM REBAR. ALL WORK TO BE ACCORDANCE WITH THE STANDARD DRAWING.

PIPE MANUFACTURING INDUSTRY
 TO BE ACCORDANCE WITH THE STANDARD DRAWING. ALL WORK TO BE ACCORDANCE WITH THE STANDARD DRAWING.

PIPE MANUFACTURING INDUSTRY
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Handover Magistrate Office Repairs & Renovations Civil End Services

Civil and Structural Repairs Plan View

Scale: 1:100
 Date: 2021

Project: Handover Magistrate Office Repairs & Renovations Civil End Services

Client: Department of Public Works, Republic of South Africa

Contract No: 21/1/NG/HD/0253/XS-CSS-01

Sheet: A1

THE CAD REFERENCE NUMBER IS:

NOTE: PARALLEL CORRUGATED POLYPROPYLENE BLOCKS (EUM 400)

1. THE TABLE IS VALID FOR ALL PARALLEL CORRUGATED POLYPROPYLENE BLOCKS (EUM 400) WITH A MINIMUM TENSILE STRENGTH OF 100 MPa AND A MINIMUM ELONGATION AT BREAK OF 10%.

2. THE TABLE IS VALID FOR ALL PARALLEL CORRUGATED POLYPROPYLENE BLOCKS (EUM 400) WITH A MINIMUM TENSILE STRENGTH OF 100 MPa AND A MINIMUM ELONGATION AT BREAK OF 10%.

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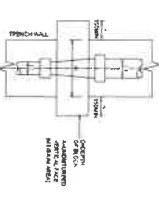
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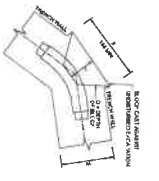
TABLE 11: CONNECTION TABLE

ALL CONNECTIONS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAY BRIDGES AND STRUCTURES.



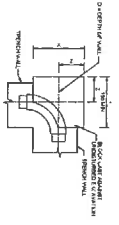
Rebar Size	Block Size	Block Weight (kg)	Block Volume (m³)	Block Density (kg/m³)	Block Tensile Strength (kN)	Block Elongation at Break (%)
12	100	1.2	0.0012	1000	120	10
16	150	2.7	0.0027	1000	192	10
20	200	4.8	0.0048	1000	288	10
25	250	7.5	0.0075	1000	375	10

1. THIS TABLE IS VALID FOR ALL PARALLEL CORRUGATED POLYPROPYLENE BLOCKS (EUM 400) WITH A MINIMUM TENSILE STRENGTH OF 100 MPa AND A MINIMUM ELONGATION AT BREAK OF 10%.
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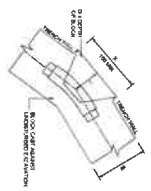
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GENERAL CONNECTIONS TABLE

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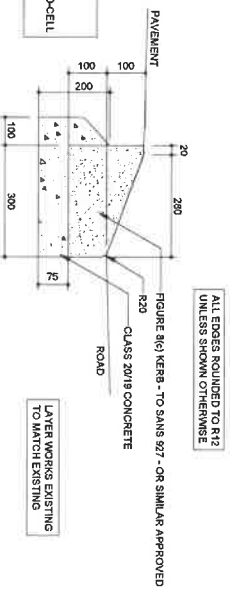
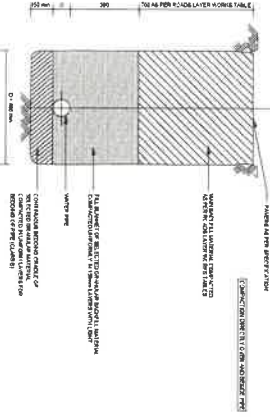
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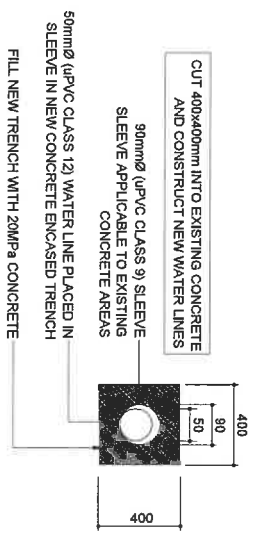
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NOTE:
KERB TO BE JOINED AT THE INTERNALS AND JOINTS TO BE FILLED WITH CLOSED-CELL POLYETHYLENE JOINT FILLER.



NOTES

1. Drawings not to be scaled.
2. All drawings should be in accordance with the relevant standards.

APPROVAL DRAWING

NO.	DATE	BY	FOR	DESCRIPTION

REVISIONS

NO.	DATE	BY	FOR	DESCRIPTION

CONTRACTOR

CLIENT

PROJECT

LOCATION

SCALE

DATE

PROJECT NO.

CONTRACT NO.

CONTRACT VALUE

CONTRACT TYPE

CONTRACT STATUS

CONTRACT DESCRIPTION

CONTRACT CONTACT

CONTRACT ADDRESS

CONTRACT PHONE

CONTRACT FAX

CONTRACT EMAIL

CONTRACT WEBSITE

CONTRACT LOGO

CONTRACT SIGNATURE

CONTRACT SEAL

CONTRACT STAMP

CONTRACT PHOTO

CONTRACT VIDEO

CONTRACT AUDIO

CONTRACT TEXT

CONTRACT IMAGE

CONTRACT LINK

CONTRACT QR

CONTRACT PDF

CONTRACT DOC

CONTRACT XLS

CONTRACT PPT

CONTRACT ZIP

CONTRACT RAR

CONTRACT TAR

CONTRACT GZ

CONTRACT BZ

CONTRACT 7Z

CONTRACT ISO

CONTRACT DMG

CONTRACT PSD

CONTRACT AI

CONTRACT EPS

CONTRACT SVG

CONTRACT PDF

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CONTRACT ZIP

CONTRACT RAR

CONTRACT TAR

CONTRACT GZ

CONTRACT BZ

CONTRACT 7Z

CONTRACT ISO

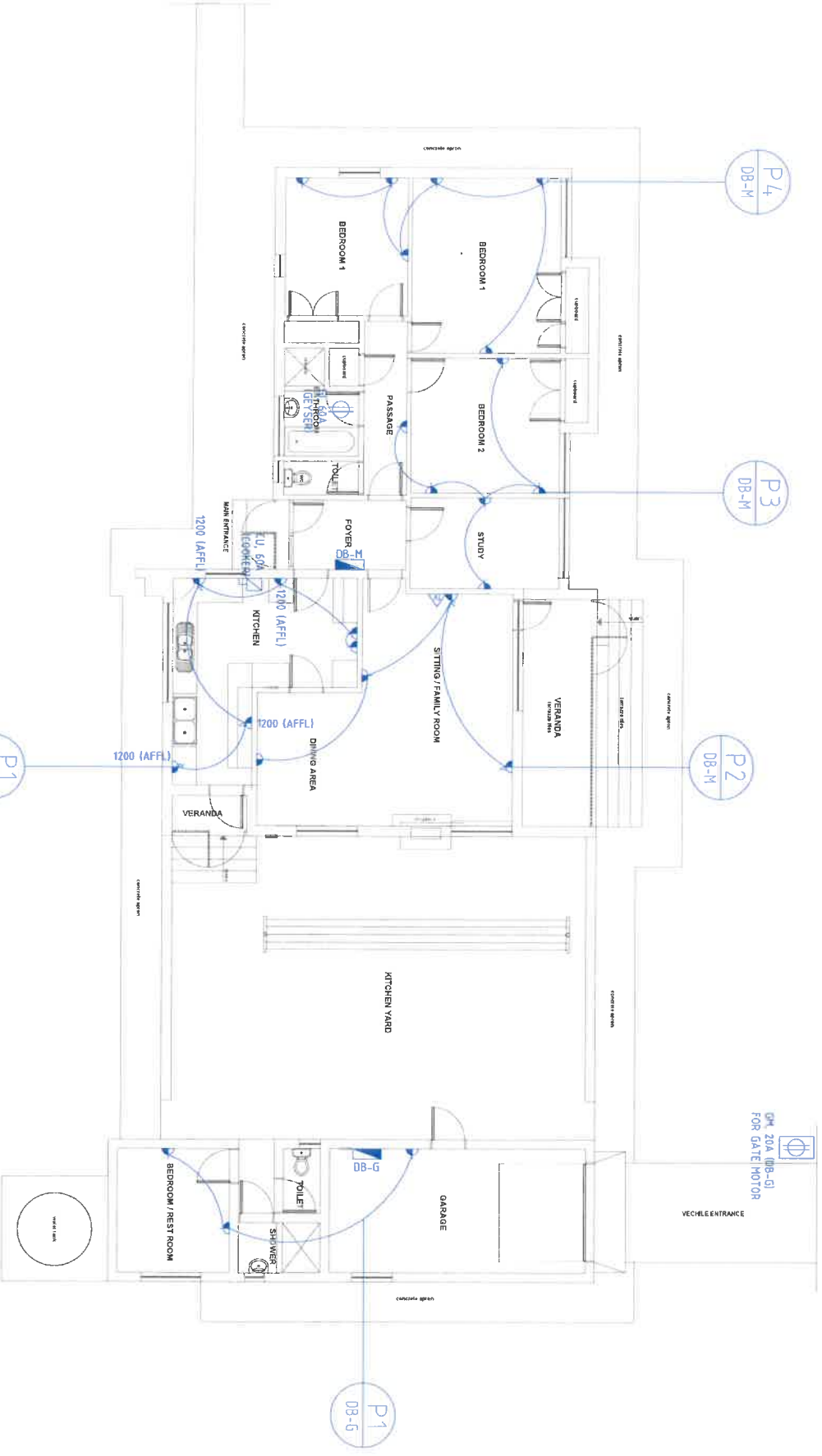
CONTRACT DMG

CONTRACT PSD

CONTRACT AI

CONTRACT EPS

CONTRACT SVG



- NOTE:**
1. ALL CIRCUMFERENTIAL MOUNTED SOCKET OUTLETS TO BE 300MM APRT. UNLESS INDICATED
 2. ALL LIGHT SWITCHES TO BE 100MM APRT. UNLESS
 3. POSITIONS OF WORK ROLES ARE TO BE CORROBORATED WITH THE MECHANICAL ENGINEER/ CONTRACTOR.

LEGEND


- COMMON SWITCHES SOCKET OUTLET
- WITH 15A FUSED AND 1 CERO
- DOUBLE SWITCHED SOCKET OUTLET
- DOUBLE MISC. ISOLATOR
- DOUBLE MISC. ISOLATOR IN VENTILATED ENCLOSURE
- ELECTRICAL INFORMATION BOARD
- CONCRETE UNIT WITH 40A DISCONNECT (CON)

Location	Name	Ref. No.	Signature	Date
Spring-on Stamp				

Approval	Date	By	Authorization

CLIENT

CONSULTANT



CONSULTING ENGINEERS (PVT) LTD

PROJECT

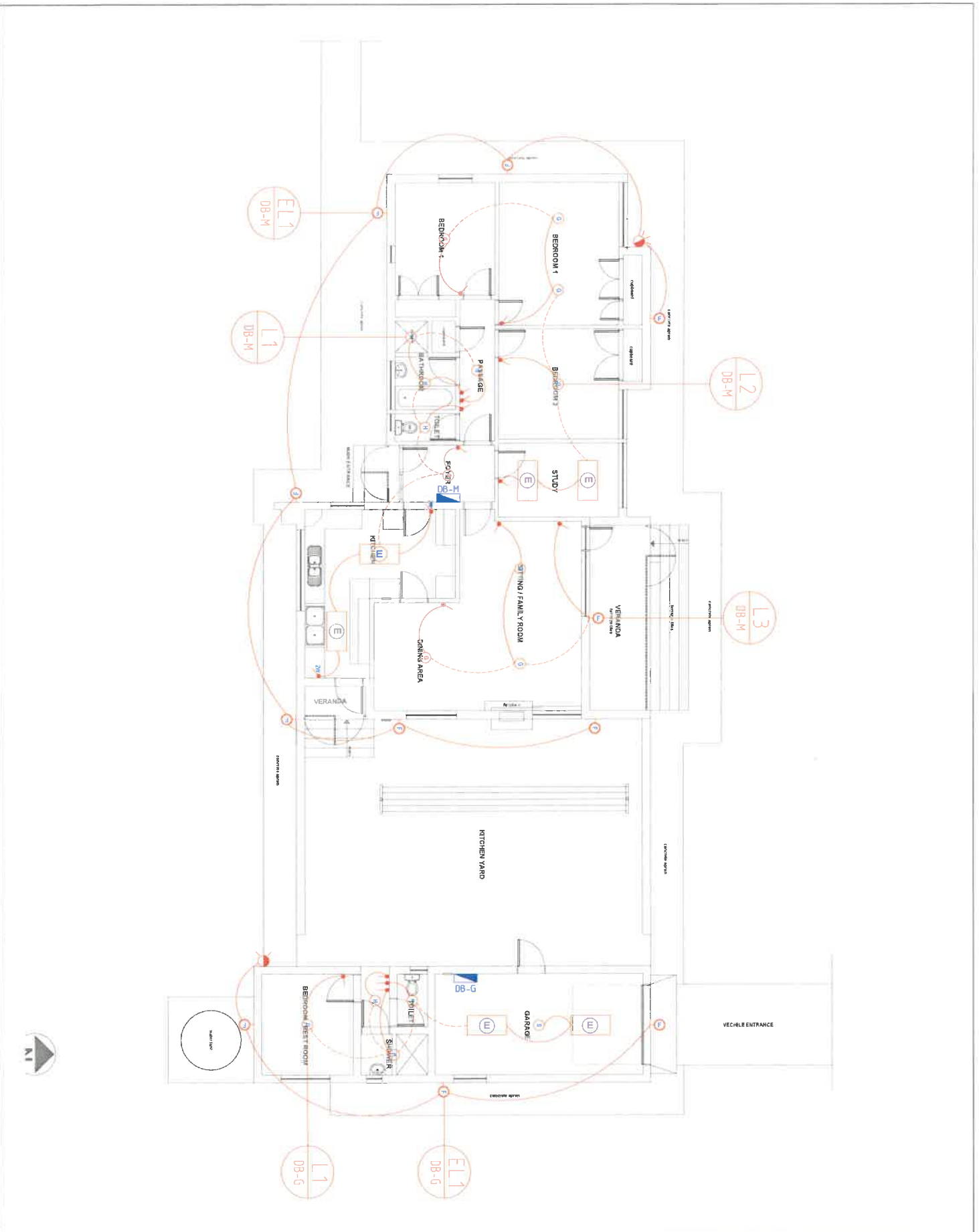
HANOVER MAGISTRATES RESIDENCE

DRAWING TITLE

MAGISTRATES RESIDENCE POWER LAYOUT

Rev.	Description	Date	By	Checked
01				
02				

DATE **TENDER**



NOTE:
 1. ALL OVERHEAD WALL MOUNTED SOCKET OUTLETS TO BE SHOWN AFTER UNLESS INDICATED
 2. ALL LIGHT SWITCHES TO BE SHOWN AFTER UNLESS INDICATED
 3. POSITION OF HVAC EQUIPMENT TO BE COORDINATED WITH THE MECHANICAL ENGINEER / CONTRACTOR

LEGEND

- 1. 2W LED PANEL LIGHT
- 2. 2W LED PANEL LIGHT
- 3. RECESSED
- 4. 1W LED DOWN LIGHT
- 5. 1W LED DOWN LIGHT
- 6. 1W LED DOWN LIGHT
- 7. 1W LED DOWN LIGHT
- 8. 1W LED DOWN LIGHT
- 9. 1W LED DOWN LIGHT
- 10. 1W LED DOWN LIGHT
- 11. 1W LED DOWN LIGHT
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- 96. 1W LED DOWN LIGHT
- 97. 1W LED DOWN LIGHT
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- 99. 1W LED DOWN LIGHT
- 100. 1W LED DOWN LIGHT

Client	Project	Contract No.	Drawn By	Checked By	Date	Scale
Magistrate's Residence	Lighting Layout					

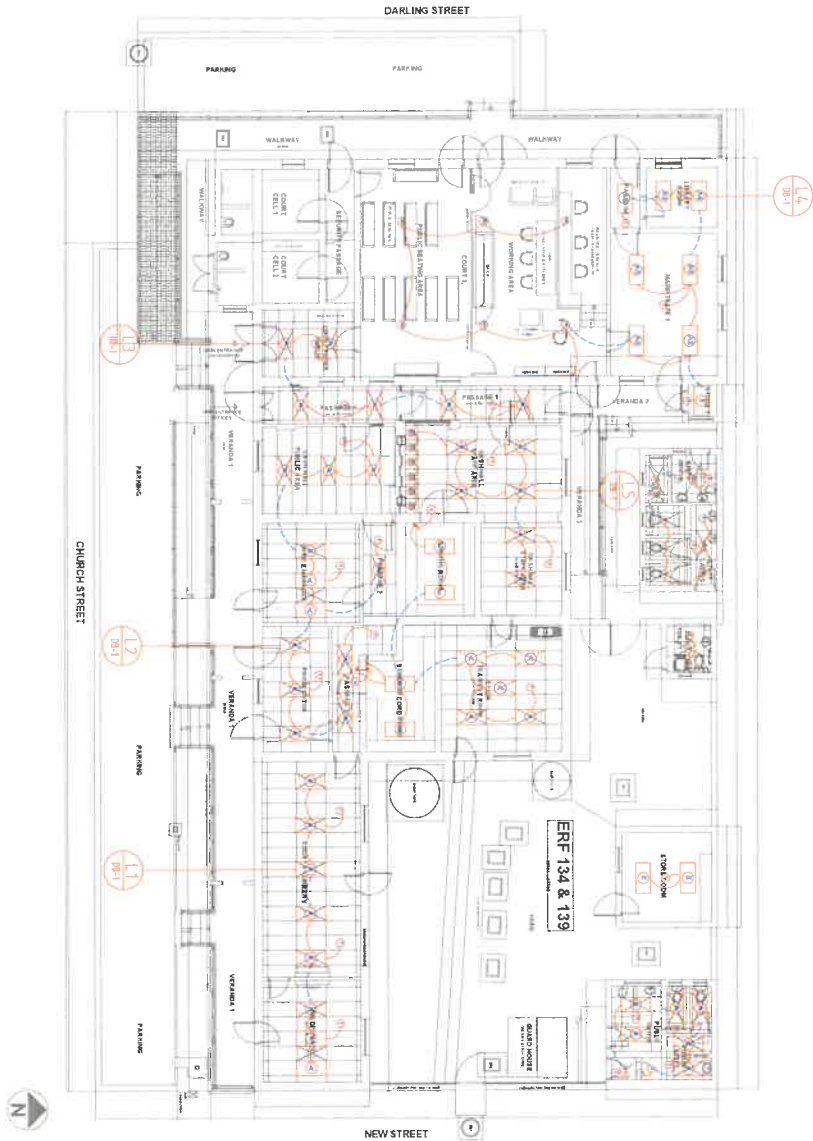
Drawn By	Checked By	Date	Scale

Client	Project	Contract No.	Drawn By	Checked By	Date	Scale
Magistrate's Residence	Lighting Layout					

Client	Project	Contract No.	Drawn By	Checked By	Date	Scale
Magistrate's Residence	Lighting Layout					

Client	Project	Contract No.	Drawn By	Checked By	Date	Scale
Magistrate's Residence	Lighting Layout					

MMMT CONSULTING ENGINEERS (PT) LTD
 HANOVER MAGISTRATE'S OFFICE
 TENDERS



NOTE:
 1. ALL DIMENSIONS SHALL PROVIDE SOCKET OUTLETS IN ACCORDANCE WITH THE IEC 60364-5-53 REQUIREMENTS.
 2. ALL LIGHT SWITCHES TO BE 200MM APART UNLESS INDICATED OTHERWISE.
 3. POSITIONS OF HVAC COILS TO BE CORRELATED WITH THE MECHANICAL CONTRACTOR'S WORK.

LEGEND

- ① 2W LED DOWN LIGHT
- ② 2W LED DOWN LIGHT
- ③ 2W LED DOWN LIGHT
- ④ 2W LED DOWN LIGHT
- ⑤ 2W LED DOWN LIGHT
- ⑥ 2W LED DOWN LIGHT
- ⑦ 2W LED DOWN LIGHT
- ⑧ 2W LED DOWN LIGHT
- ⑨ 2W LED DOWN LIGHT
- ⑩ 2W LED DOWN LIGHT
- ⑪ 2W LED DOWN LIGHT
- ⑫ 2W LED DOWN LIGHT
- ⑬ 2W LED DOWN LIGHT
- ⑭ 2W LED DOWN LIGHT
- ⑮ 2W LED DOWN LIGHT
- ⑯ 2W LED DOWN LIGHT
- ⑰ 2W LED DOWN LIGHT
- ⑱ 2W LED DOWN LIGHT
- ⑲ 2W LED DOWN LIGHT
- ⑳ 2W LED DOWN LIGHT
- ㉑ 2W LED DOWN LIGHT
- ㉒ 2W LED DOWN LIGHT
- ㉓ 2W LED DOWN LIGHT
- ㉔ 2W LED DOWN LIGHT
- ㉕ 2W LED DOWN LIGHT
- ㉖ 2W LED DOWN LIGHT
- ㉗ 2W LED DOWN LIGHT
- ㉘ 2W LED DOWN LIGHT
- ㉙ 2W LED DOWN LIGHT
- ㉚ 2W LED DOWN LIGHT
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- ㉞ 2W LED DOWN LIGHT
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- ㊴ 2W LED DOWN LIGHT
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- ㊷ 2W LED DOWN LIGHT
- ㊸ 2W LED DOWN LIGHT
- ㊹ 2W LED DOWN LIGHT
- ㊺ 2W LED DOWN LIGHT
- ㊻ 2W LED DOWN LIGHT
- ㊼ 2W LED DOWN LIGHT
- ㊽ 2W LED DOWN LIGHT
- ㊾ 2W LED DOWN LIGHT
- ㊿ 2W LED DOWN LIGHT

Client	Project	Drawn	Checked	Approved	Date
MAGISTRATE & COURT	HANOVER				
MAGISTRATE & COURT	HANOVER				

MMMT
 CONSULTING ENGINEERS (PVT) LTD

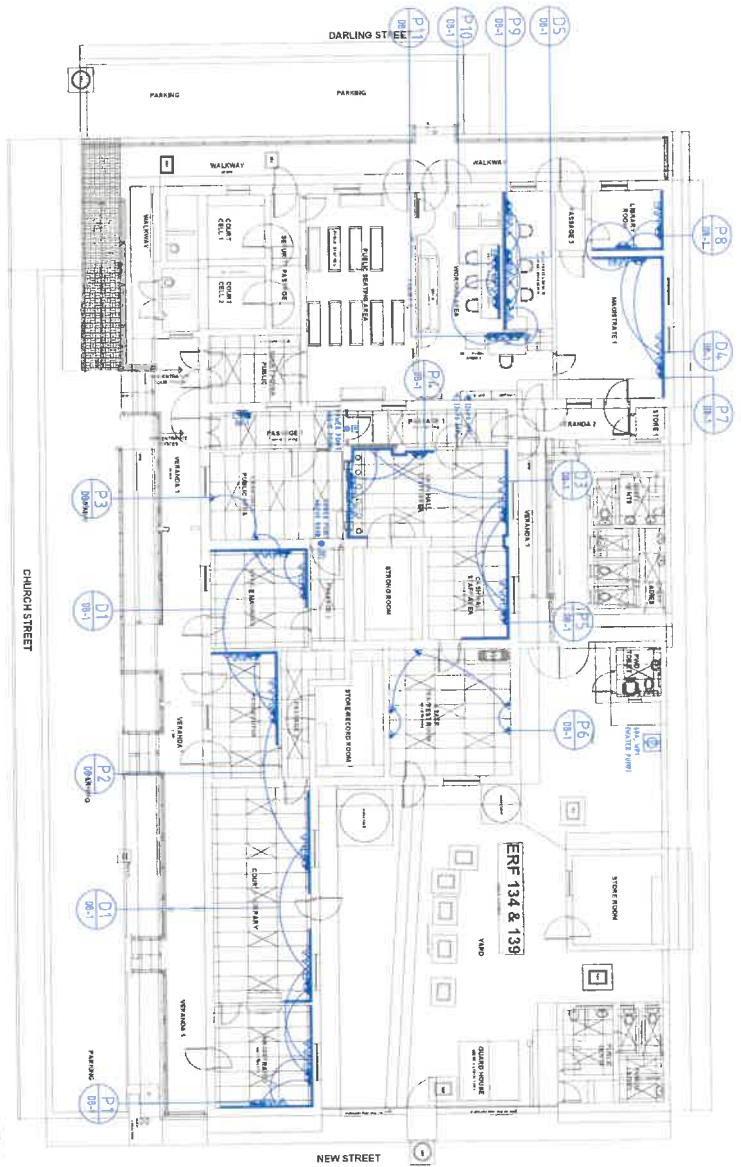
HANOVER
 MAGISTRATE & COURT

MAGISTRATE & COURT
 LIGHTING LAYOUT

DATE: AUGUST 2021
 DRAWN: TENDON
 CHECKED: TENDON
 APPROVED: TENDON

PROJECT NO: 2021001

CLIENT: TENDON



NOTE:
 1. ALL OUTRECH WALL MOUNTED SOCKET OUTLETS TO BE 300MM APT. UNLESS INDICATED
 2. ALL LIGHT FIXTURES TO BE 300MM APT. UNLESS INDICATED
 3. POSITIONS OF HVAC DEVIATIONS TO BE COORDINATED WITH THE MECHANICAL ENGINEER/ CONTRACTOR

LEGEND

- 1 COMPARTMENT, 2 CIRCUIT POWER
- 3 PHASE
- 4 SINGLE PHASE
- 5 200MM APT. UNLESS INDICATED
- 6 100MM APT. UNLESS INDICATED
- 7 50MM APT. UNLESS INDICATED
- 8 25MM APT. UNLESS INDICATED
- 9 15MM APT. UNLESS INDICATED
- 10 10MM APT. UNLESS INDICATED
- 11 5MM APT. UNLESS INDICATED
- 12 2.5MM APT. UNLESS INDICATED
- 13 1.5MM APT. UNLESS INDICATED
- 14 0.75MM APT. UNLESS INDICATED
- 15 0.5MM APT. UNLESS INDICATED
- 16 0.25MM APT. UNLESS INDICATED
- 17 0.125MM APT. UNLESS INDICATED
- 18 0.0625MM APT. UNLESS INDICATED
- 19 0.03125MM APT. UNLESS INDICATED
- 20 0.015625MM APT. UNLESS INDICATED
- 21 0.0078125MM APT. UNLESS INDICATED
- 22 0.00390625MM APT. UNLESS INDICATED
- 23 0.001953125MM APT. UNLESS INDICATED
- 24 0.0009765625MM APT. UNLESS INDICATED
- 25 0.00048828125MM APT. UNLESS INDICATED
- 26 0.000244140625MM APT. UNLESS INDICATED
- 27 0.0001220703125MM APT. UNLESS INDICATED
- 28 0.00006103515625MM APT. UNLESS INDICATED
- 29 0.000030517578125MM APT. UNLESS INDICATED
- 30 0.0000152587890625MM APT. UNLESS INDICATED
- 31 0.00000762939453125MM APT. UNLESS INDICATED
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- 47 0.000000000116415321826934814453125MM APT. UNLESS INDICATED
- 48 0.0000000000582076609134674071875MM APT. UNLESS INDICATED
- 49 0.00000000002910383045673370359375MM APT. UNLESS INDICATED
- 50 0.000000000014551915228366851796875MM APT. UNLESS INDICATED
- 51 0.0000000000072759576141834258984375MM APT. UNLESS INDICATED
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- 59 0.000000000000028421709430401507072024609375MM APT. UNLESS INDICATED
- 60 0.0000000000000142108547152007535360123046875MM APT. UNLESS INDICATED
- 61 0.00000000000000710542735760037676800615234375MM APT. UNLESS INDICATED
- 62 0.000000000000003552713678800188384003076196875MM APT. UNLESS INDICATED
- 63 0.0000000000000017763568394000941920015380984375MM APT. UNLESS INDICATED
- 64 0.00000000000000088817841970004709600076904921875MM APT. UNLESS INDICATED
- 65 0.00000000000000044408920985002354800038454609375MM APT. UNLESS INDICATED
- 66 0.000000000000000222044604925011774000192273046875MM APT. UNLESS INDICATED
- 67 0.0000000000000001110223024625058870000961365234375MM APT. UNLESS INDICATED
- 68 0.00000000000000005551115123125294350004806826196875MM APT. UNLESS INDICATED
- 69 0.000000000000000027755575615626471750024034130984375MM APT. UNLESS INDICATED
- 70 0.00000000000000001387778780781323587500120170671875MM APT. UNLESS INDICATED
- 71 0.00000000000000000693889390390661793750006008534375MM APT. UNLESS INDICATED
- 72 0.0000000000000000034694469519533089687500030042671875MM APT. UNLESS INDICATED
- 73 0.000000000000000001734723475976654484375000150213369375MM APT. UNLESS INDICATED
- 74 0.0000000000000000008673617379883272421875000075106684375MM APT. UNLESS INDICATED
- 75 0.000000000000000000433680868994163621093750000375533421875MM APT. UNLESS INDICATED
- 76 0.00000000000000000021684043449708181554687500001877667109375MM APT. UNLESS INDICATED
- 77 0.000000000000000000108420217248540907773437500000938833546875MM APT. UNLESS INDICATED
- 78 0.0000000000000000000542101086242704538869375000004694167734375MM APT. UNLESS INDICATED
- 79 0.00000000000000000002710505431213522694346875000002347083869375MM APT. UNLESS INDICATED
- 80 0.0000000000000000000135525271560676134717343750000011735419346875MM APT. UNLESS INDICATED
- 81 0.00000000000000000000677626357803380673586937500000058677096875MM APT. UNLESS INDICATED
- 82 0.0000000000000000000033881317890169033689375000000293385484375MM APT. UNLESS INDICATED
- 83 0.00000000000000000000169406589450545168446875000001466927421875MM APT. UNLESS INDICATED
- 84 0.0000000000000000000008470329472527258422343750000007334637109375MM APT. UNLESS INDICATED
- 85 0.00000000000000000000042351647362636421111718750000003667318546875MM APT. UNLESS INDICATED
- 86 0.000000000000000000000211758236813182055558937500000018336592734375MM APT. UNLESS INDICATED
- 87 0.0000000000000000000001058791184065910277794687500000009168296369375MM APT. UNLESS INDICATED
- 88 0.00000000000000000000005293955920329551388897187500000004584148196875MM APT. UNLESS INDICATED
- 89 0.00000000000000000000002646977960164775694448937500000002292074096875MM APT. UNLESS INDICATED
- 90 0.0000000000000000000000132348898008238782972244687500000011460370484375MM APT. UNLESS INDICATED
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- 92 0.0000000000000000000000033087224502059695732244687500000002865092609375MM APT. UNLESS INDICATED
- 93 0.0000000000000000000000016543612251029847866122446875000000014325463046875MM APT. UNLESS INDICATED
- 94 0.0000000000000000000000008271806125514943933061224468750000000071627315234375MM APT. UNLESS INDICATED
- 95 0.0000000000000000000000004135903062757471966530612244687500000000358136576196875MM APT. UNLESS INDICATED
- 96 0.000000000000000000000000206795153137873598326530612244687500000000179068288096875MM APT. UNLESS INDICATED
- 97 0.00000000000000000000000010339757656893699163265306122446875000000000895341440484375MM APT. UNLESS INDICATED
- 98 0.00000000000000000000000005169878828446849581632653061224468750000000004476707202421875MM APT. UNLESS INDICATED
- 99 0.00000000000000000000000002584939414223424790816326530612244687500000000022383536012109375MM APT. UNLESS INDICATED
- 100 0.00000000000000000000000001292469707111171954414223424790816326530612244687500000000011191768006046875MM APT. UNLESS INDICATED

CLIENT		Springton Shire	
Client Name	Project No.	Client Ref.	Date
Springton Shire	134/139	134/139	13/07/2011
PROJECT		Magistrates' Court Power Layout	
Project Name	Project No.	Project Ref.	Date
Magistrates' Court Power Layout	134/139	134/139	13/07/2011
DESIGNER		M&M CONSULTING ENGINEERS (PTY) LTD	
Designer Name	Designer No.	Designer Ref.	Date
M&M CONSULTING ENGINEERS (PTY) LTD	134/139	134/139	13/07/2011
APPROVER		TENDR	
Approver Name	Approver No.	Approver Ref.	Date
TENDR	134/139	134/139	13/07/2011